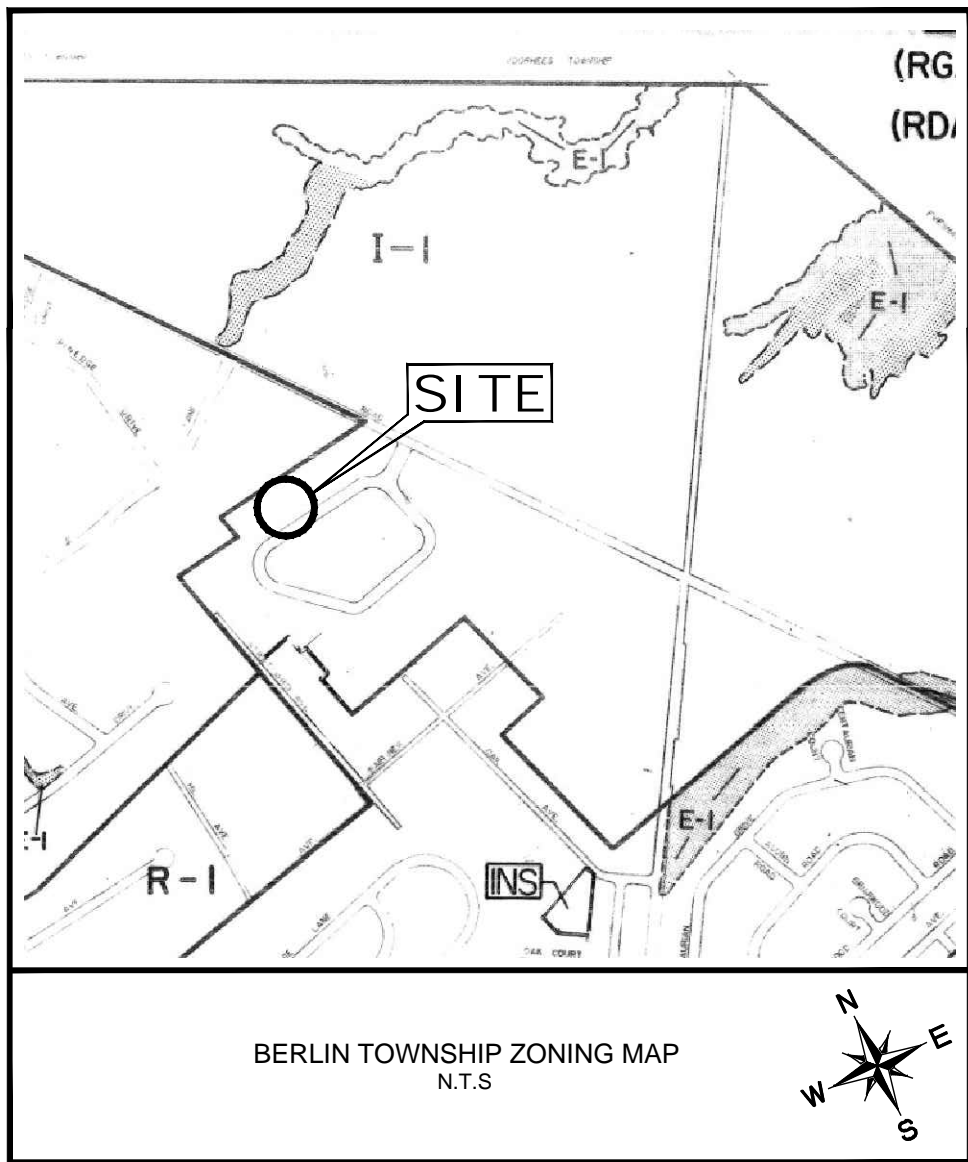
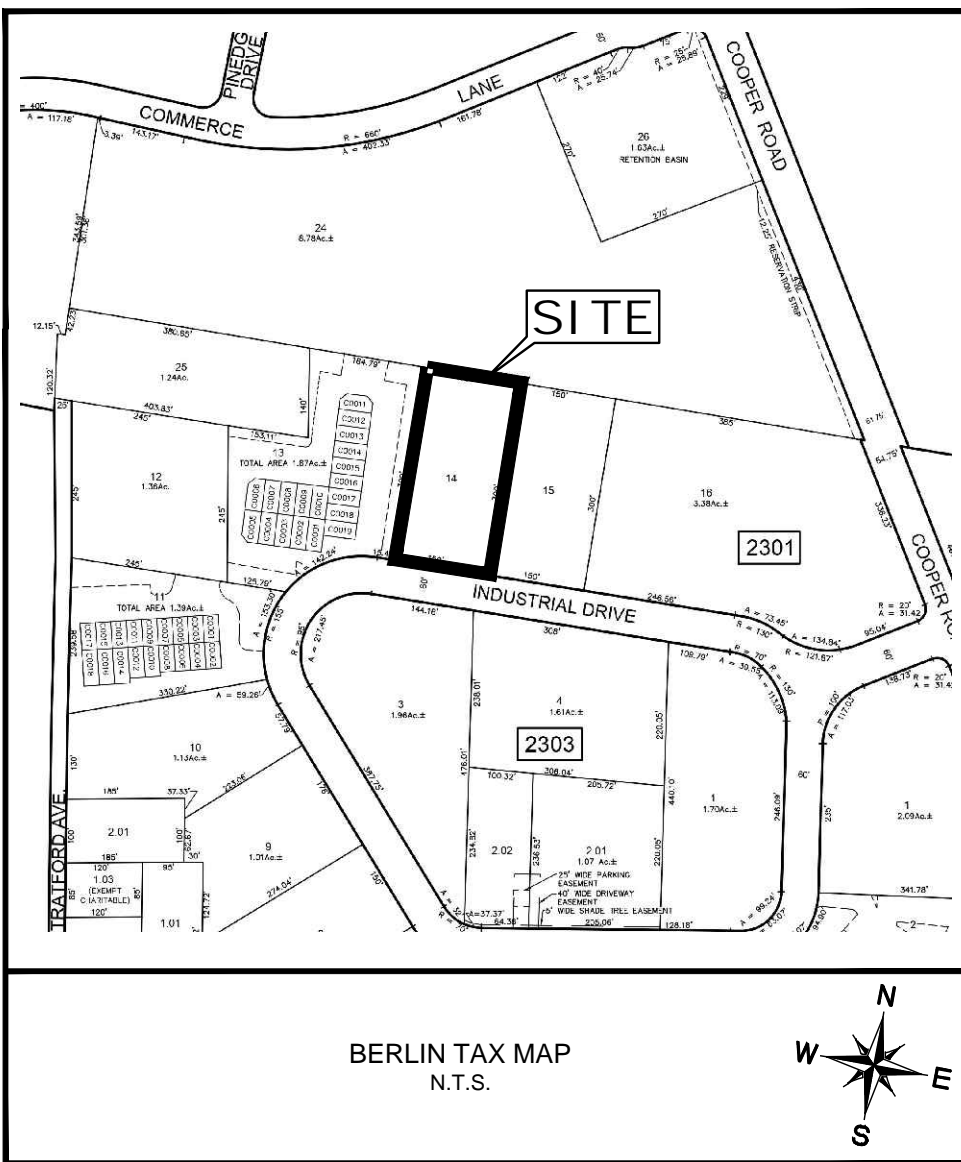
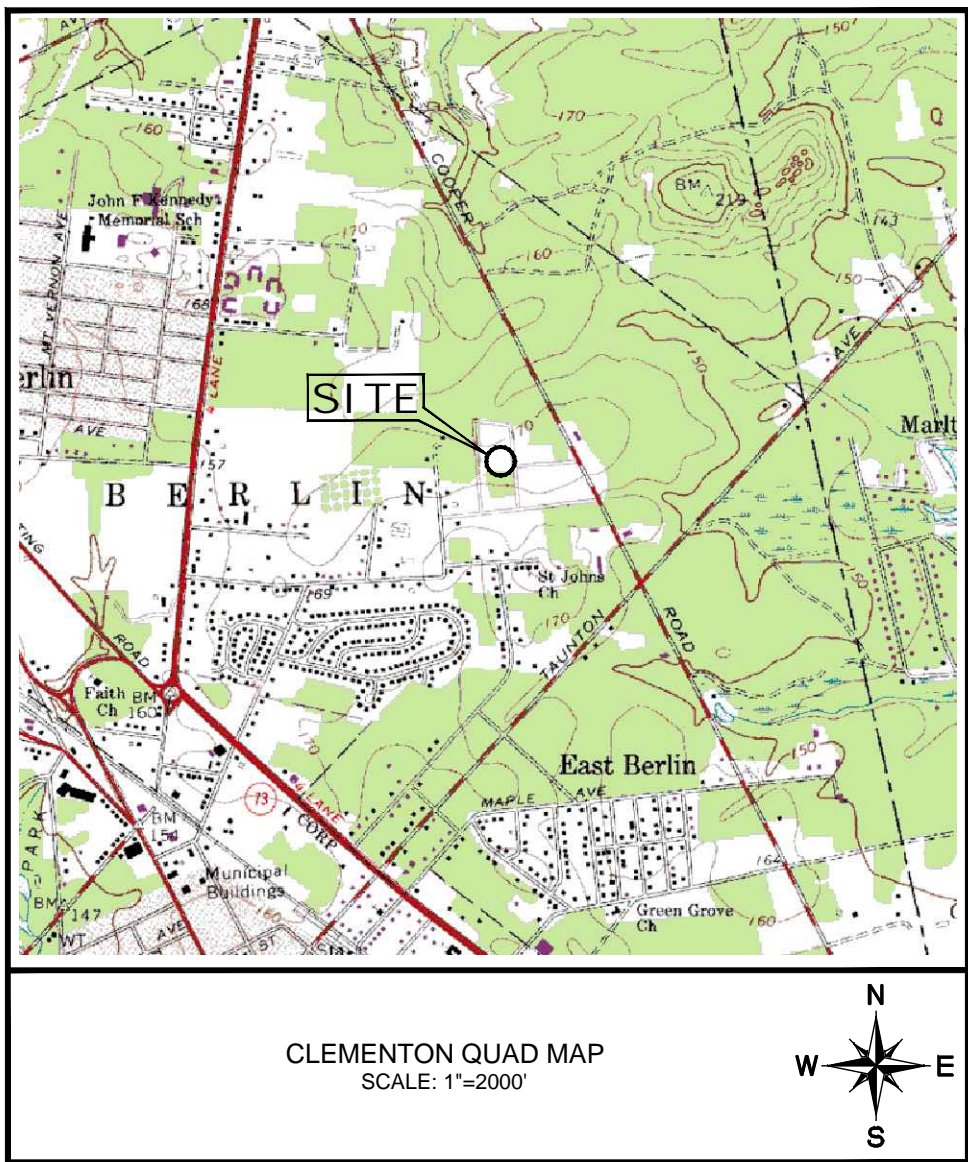


TECHNITOOL WAREHOUSE EXPANSION

PRELIMINARY AND FINAL MAJOR SITE PLAN

1048 INDUSTRIAL DRIVE
BLOCK 2301, LOT 14
BERLIN TOWNSHIP
CAMDEN COUNTY, NEW JERSEY



APPROVAL CERTIFICATION

CAMDEN COUNTY PLANNING BOARD

"THIS PLAN IS HEREBY APPROVED BY THE BURLINGTON COUNTY PLANNING BOARD SUBJECT TO THE RESTRICTIONS, AGREEMENTS AND CONDITIONS SET FORTH BY THE CAMDEN COUNTY PLANNING BOARD".

CHAIRMAN DATE

BERLIN TOWNSHIP PLANNING BOARD

THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF BERLIN TOWNSHIP.

CHAIRMAN DATE

SECRETARY DATE

BERLIN TOWNSHIP ENGINEER CERTIFICATION

I HAVE CAREFULLY EXAMINED THIS PLAN & FIND IT CONFORMS WITH THE PROVISIONS OF THE MUNICIPAL ORDINANCES & REQUIREMENTS THERETO.

ENGINEER DATE

OWNER CERTIFICATION

I HAVE CAREFULLY EXAMINED AND CONSENT TO THE DEVELOPMENT AS SHOWN ON THIS PLAN BY THE APPLICANT.

TECHNITOOL, INC. DATE
C/O PETE WELDING

OWNER/APPLICANT

TECHNITOOL, INC.
C/O PETE WELDING
1048 INDUSTRIAL DRIVE
BERLIN, NJ 08091
PHONE: 856-768-2707
EMAIL: PETE@TECHNITOOL.COM

TECHNITOOL WAREHOUSE EXPANSION
PRELIMINARY AND FINAL MAJOR SITE PLAN
1048 INDUSTRIAL DRIVE
BLOCK 2301, LOT 14
BERLIN TOWNSHIP
CAMDEN COUNTY, NEW JERSEY

INDEX OF SHEETS

SHEET NO.	SHEET TITLE
1.	COVER SHEET
2.	DEMOLITION AND SITE PLAN
3.	GRADING AND DRAINAGE PLAN
4.	SOIL EROSION AND SEDIMENT CONTROL PLAN

PLANS PREPARED BY:

**AVILA
ENGINEERING**

228 WEST WHITE HORSE PIKE - SUITE B
BERLIN, NJ 08009

Certificate of Authorization 24GA28116600

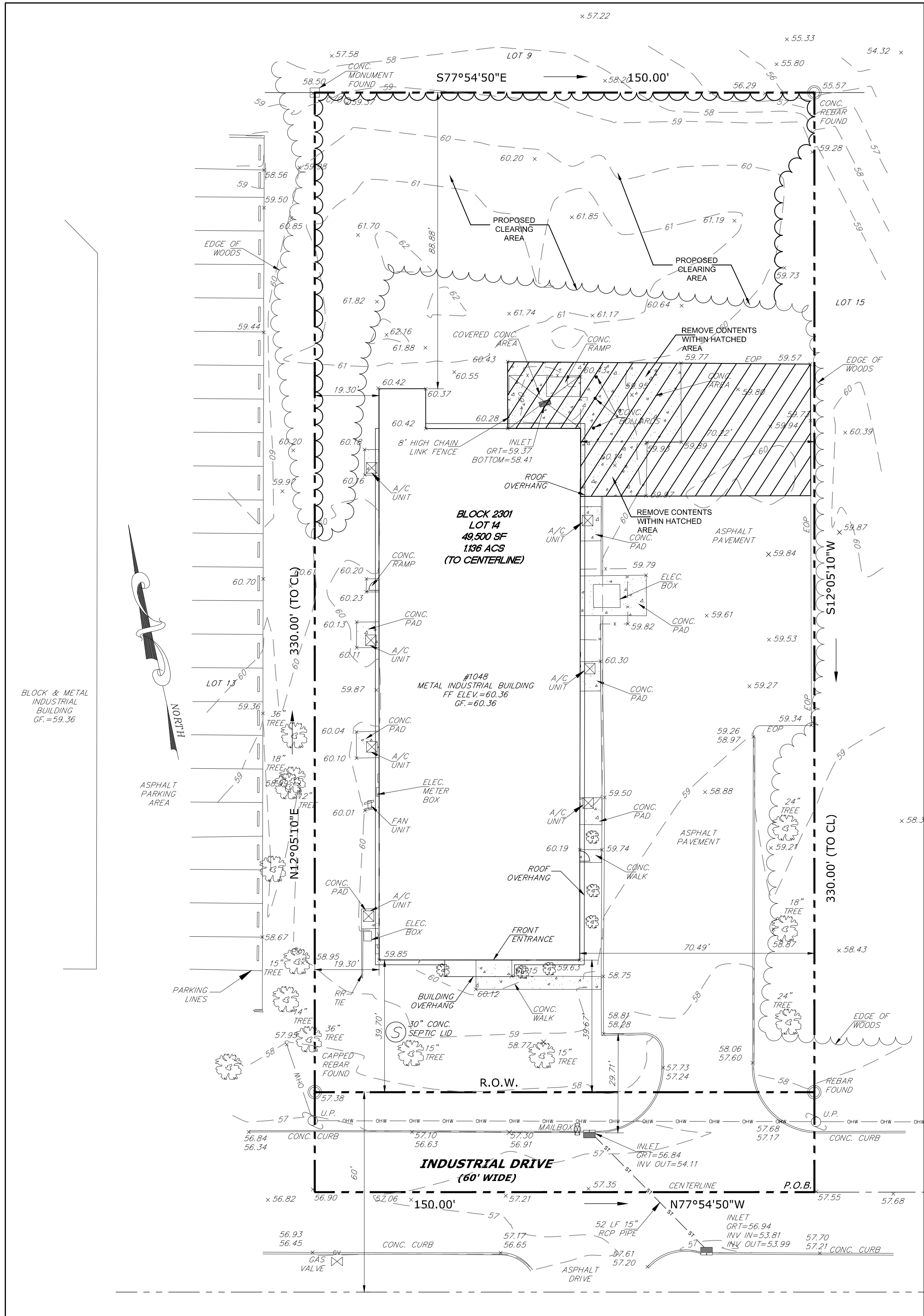
- ◆ FEASIBILITY ANALYSIS
- ◆ LAND DEVELOPMENT
- ◆ SITE PLANNING

PHONE: 856-809-2572
FAX: 856-809-2580
E-MAIL: CORP@AVILA-ENG.COM



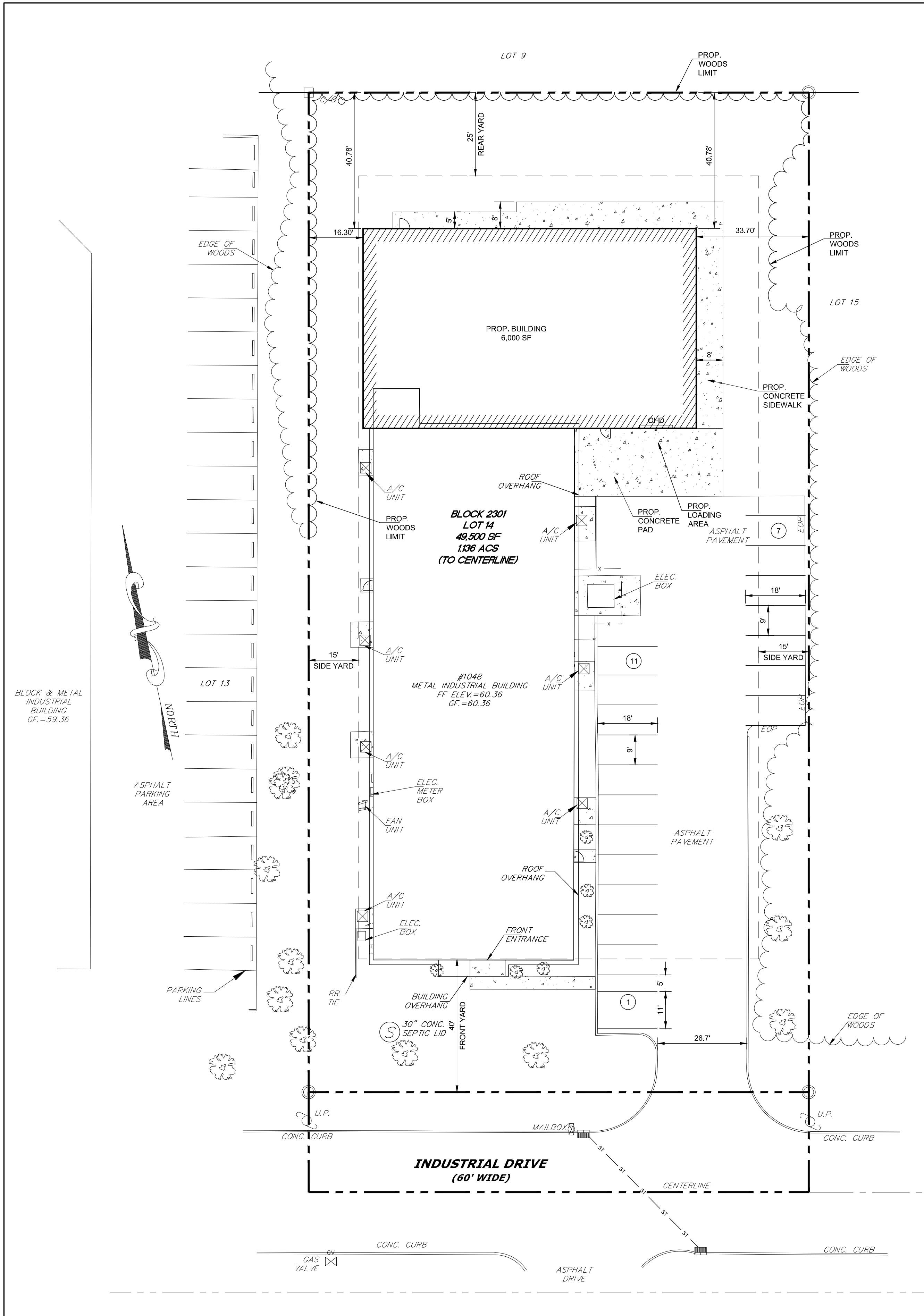
NOTE:
BEFORE PERFORMING ANY
WORK, THE CONTRACTOR
SHALL CALL 1(800) 272-1000
FOR A MARK OUT OF ALL
UNDERGROUND UTILITIES.

1	05/18/2021	ORIGINAL SUBMISSION DATE	PPB
NO.	DATE	DESCRIPTION	BY
REVISIONS			
CADD File Number	01-COVER	Sheet No.	
AE Project Number	21-0991	1 OF 4	
Original Submission Date	05/18/2021		
Drawing Title:	COVER SHEET		

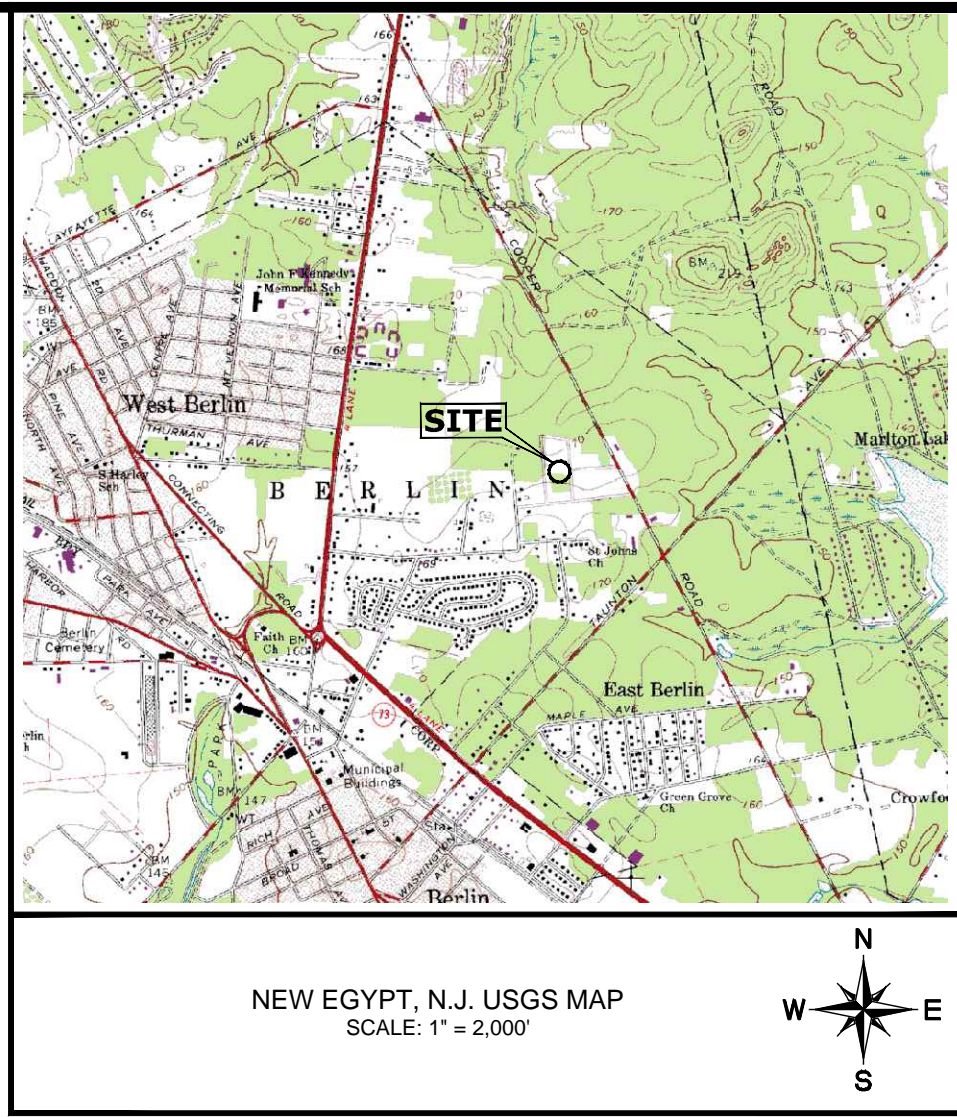
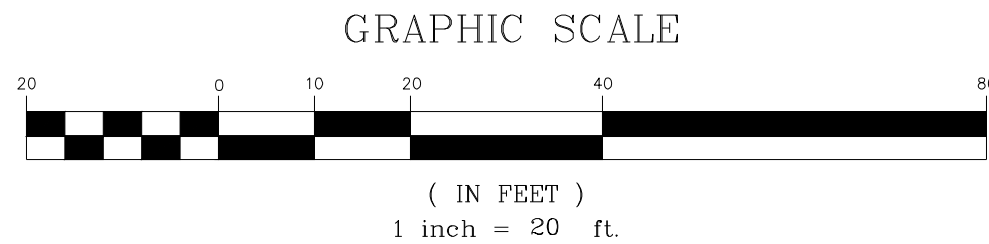


SITE DEMOLITION
SCALE: 1" = 20'

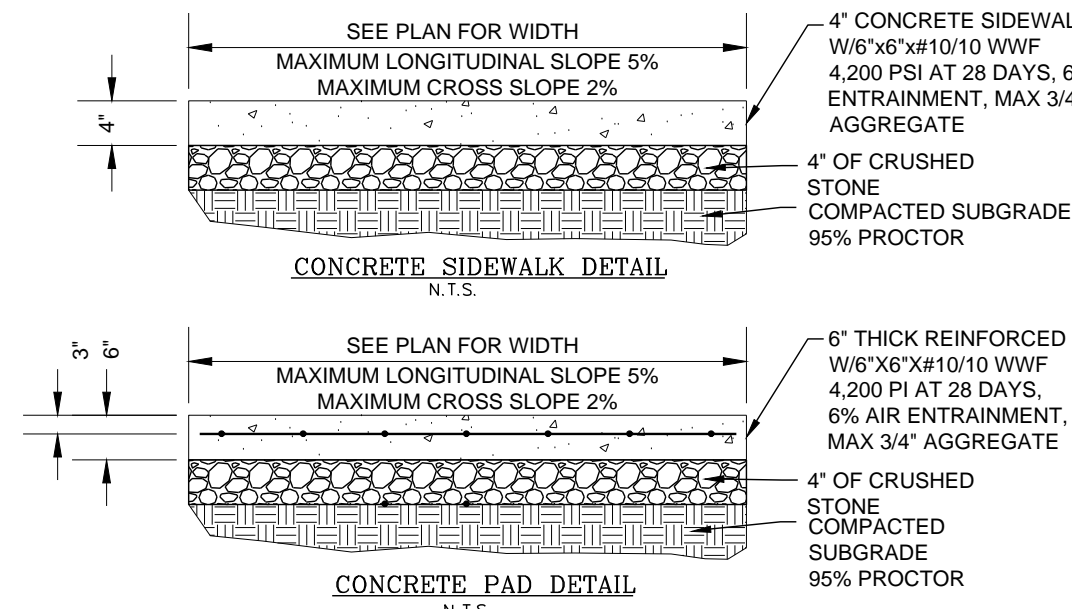
LEGEND EXISTING		LEGEND PROPOSED	
	PROPERTY LINE		BUILDING SETBACK LINE
	ADJACENT LOT LINE		CONCRETE
	STORM PIPE		PAVING QUANTITY
	EDGE OF PAVEMENT		BUILDING
	CONTOUR		CONCRETE MONUMENT
	WOODLINE		SPOT SHOT
	B INLET		



SITE LAYOUT
SCALE: 1" = 20'



- GENERAL NOTES
1. APPLICANT/OWNER: TECHNITOOL, INC. C/O PETE WELDING
1028 INDUSTRIAL DRIVE
BERLIN, NJ 08091
PH: 856-769-2707
EMAIL: PETE@TECHNITOOL.COM
 2. THE SITE IS LOCATED AT 1048 INDUSTRIAL DRIVE AND KNOWN AS BLOCK 2301, LOT 14 (SITE) PER BERLIN TOWNSHIP TAX MAP.
 3. THE SITE IS A DEVELOPED LOT CONTAINING A 9,600 SF OFFICE AND WAREHOUSE LOCATED WITHIN THE I-1 INDUSTRIAL ZONING DISTRICT OF BERLIN TOWNSHIP.
 4. OUTBOUND AND OTHER SITE INFORMATION WAS TAKEN FROM SURVEY TITLED 'EXISTING CONDITIONS PLAN' DATED 05/01/2021 THAT WAS PREPARED BY REL SURVEY, LLC.
 5. BASED ON THE AFOREMENTIONED SURVEY THE TOTAL AREA OF LOT 14 IS 49,500 SF +/- TO CENTERLINE.
 6. THE OPERATION CURRENTLY OPERATES TWO SHIFTS
 7. THE SITE IS SERVICED BY EXISTING SEPTIC AND WELL.
 8. SITE ACCESS WILL BE THE EXISTING TWO-WAY DRIVEWAY ALONG INDUSTRIAL DRIVE.
- PROPOSAL:
9. THE APPLICANT SEEKS TO CONSTRUCT A NEW 6,000 SF WAREHOUSE TO PROVIDE ADDITIONAL ROOM FOR THEIR MANUFACTURING FACILITIES.
 10. NUMBER OF EMPLOYEES: 10 (MAX SHIFT)
 11. THE SITE DOES NOT GENERATE MORE THAN 1-ACRE OF LAND DISTURBANCE NOR CREATE MORE THAN 0.25 ACRES OF REGULATED MOTOR VEHICLE SURFACE.



ZONING DATA

LIGHT INDUSTRIAL (I-1) AREA AND BULK REQUIREMENTS				
PRINCIPAL BUILDING	REQUIRED	EXISTING	PROPOSED	CONFORMS
LOT FRONTAGE	20,000 SF	45,000 SF	45,000 SF	Y
LOT AREA	100 FT	400 FT	400 FT	Y
LOT DEPTH	150 FT	300 FT	300 FT	Y
FRONT YARD	40 FT	39.70 FT	39.70 FT	ENC
REAR YARD	25 FT	88.88 FT	40.78 FT	Y
SIDE YARD (EACH)	15 FT	19.30 FT	16.30 FT	Y
BUILDING HEIGHT (MAX.)	50 FT	20 FT	20 FT	Y
BUILDING COVERAGE (MAX.)	40%	22%	34.7%	Y
PARKING	REQUIRED	EXISTING	PROPOSED	CONFORMS
DISTANCE TO CURBLINE (MIN.)	20 FT	29.71 FT	29.71 FT	Y
PARKING STALL (MIN.)	9' X 18'	9' X 18'	9' X 18'	Y
DRIVE AISLE - 2 WAY (MIN.)	25'	26.7'	26.7'	Y
LOADING FOR < 25,000 SF	1	1	1	Y
PARKING DEMAND (INDUSTRIAL W/OFFICE)	REQUIRED	EXISTING	PROPOSED	CONFORMS
EMPLOYEES=10 @ 1 PER 2 EMPLOYEES	5	5	5	Y
VISITOR AREA= <1000 SF @ 1/1000 SF	1	1	1	Y
OFFICE AREA= <1000 SF @ 1/250 SF	4	13	13	Y

NO.	DATE	DESCRIPTION	PPB	BY
1	05/18/2021	ORIGINAL SUBMISSION DATE		

REVISIONS

TECHNITOOL WAREHOUSE EXPANSION
PRELIMINARY AND FINAL MAJOR SITE PLAN
BLOCK 2301, LOT 14
1048 INDUSTRIAL DRIVE
BERLIN TOWNSHIP
CAMDEN COUNTY, NEW JERSEY

AVILA ENGINEERING

228 WEST WHITE HORSE PIKE - SUITE B
BERLIN, NJ 08009

PHONE: 856-809-2572
FAX: 856-809-2580

Certificate of Authorization 24GA28116600 E-MAIL: CORP@AVILA-ENG.COM

DESIGNED BY: MEA
DRAWN BY: PPB
CHECKED BY: PPB
DATE: 05/18/2021
SCALE: 1"=20'
CADD FILE: 02-DEMO
PROJECT NO: 21-0991
SHEET NO.

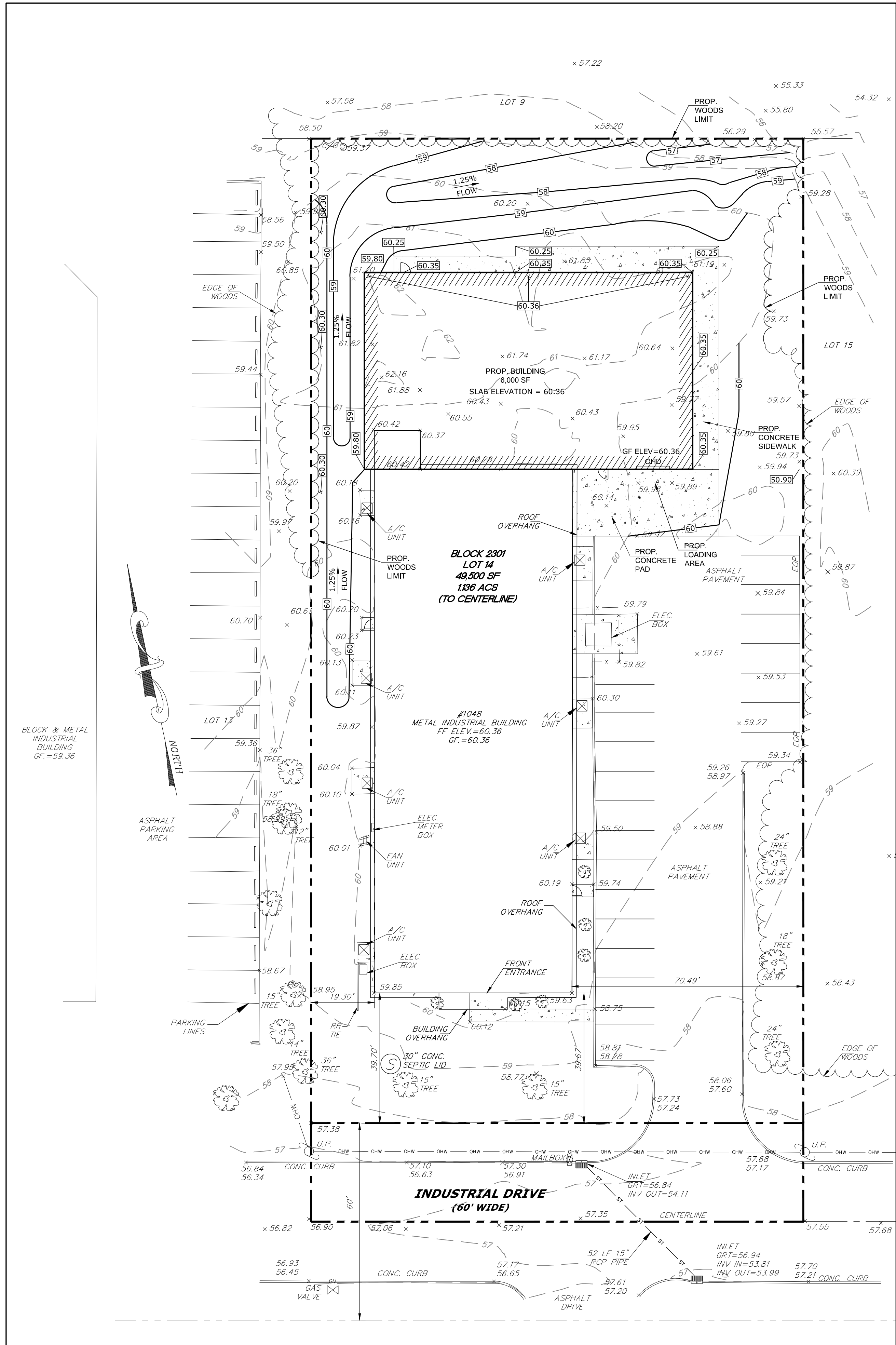
Michael E. Avila
New Jersey Professional Engineer License: No. 45507

DESIGNED BY: MEA
DRAWN BY: PPB
CHECKED BY: PPB
DATE: 05/18/2021
SCALE: 1"=20'
CADD FILE: 02-DEMO
PROJECT NO: 21-0991
SHEET NO.

DEMOLITION AND SITE LAYOUT PLAN

2 OF 4

REPRODUCTION OR USE HEREOF IS EXPRESSLY FORBIDDEN
WITHOUT THE WRITTEN PERMISSION BY AVILA ENGINEERING.
PLANS WITHOUT A RAISED SEAL SHALL NOT BE CONSIDERED
VALID FOR ANY PURPOSE.

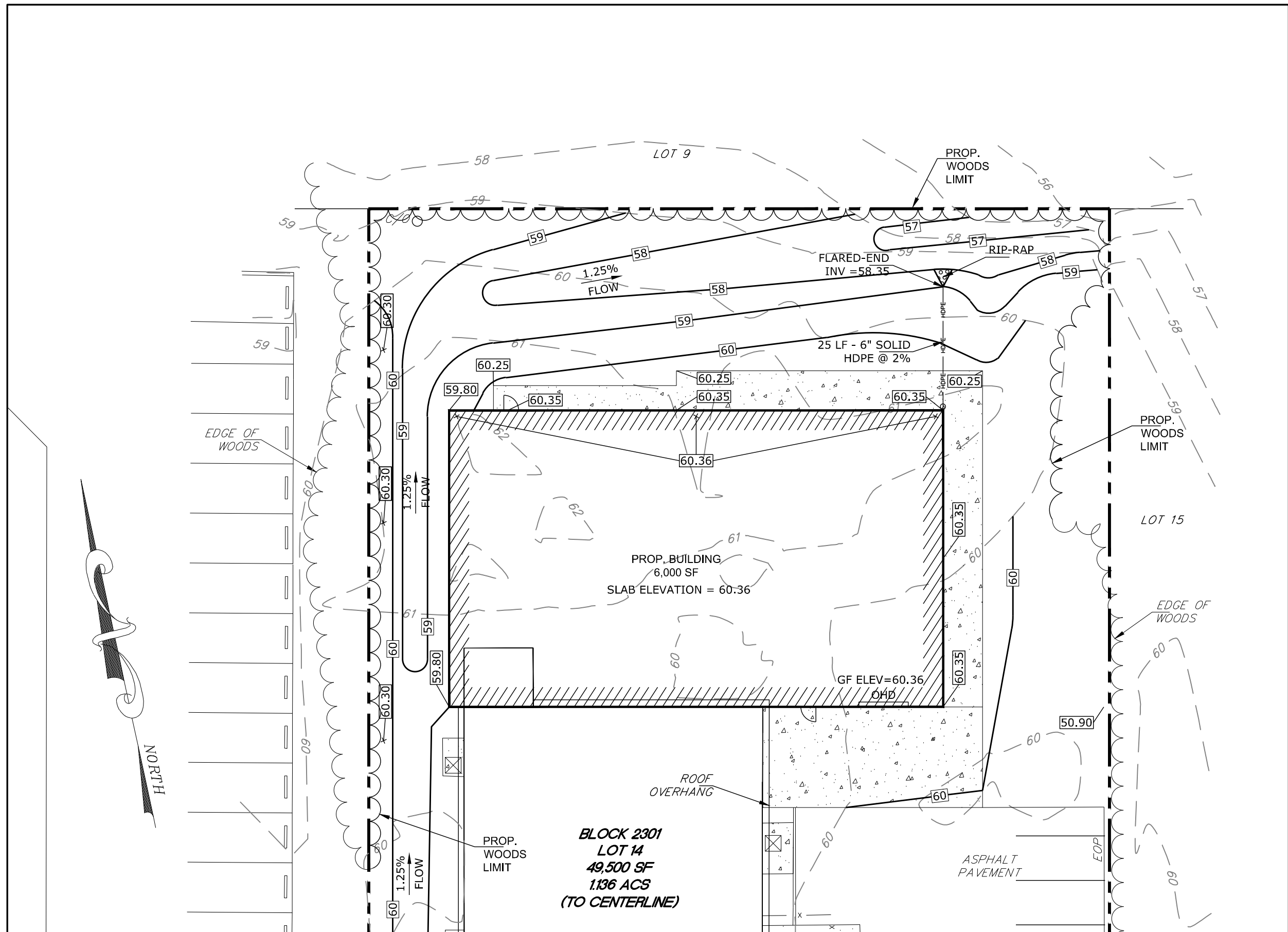


SITE GRADING
SCALE: 1" = 20'

GRAPHIC SCALE

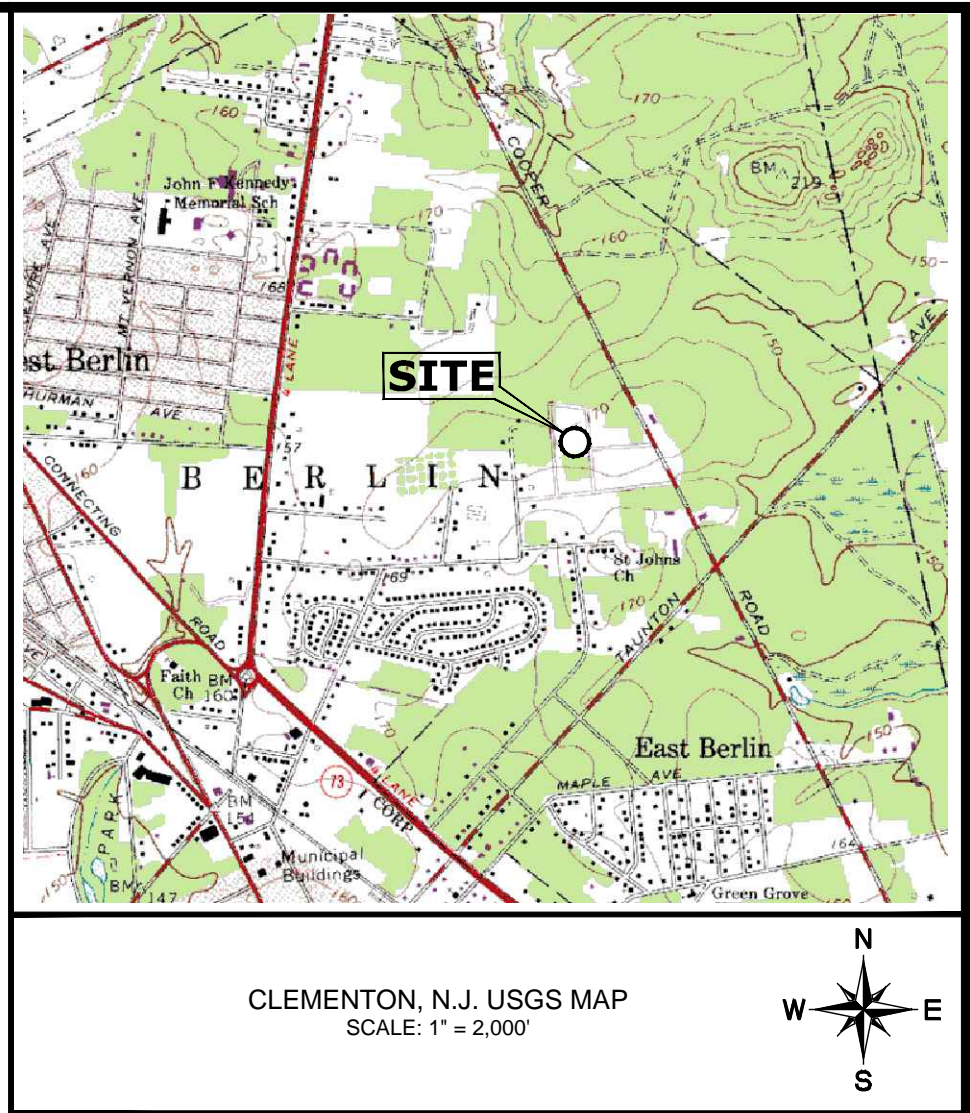
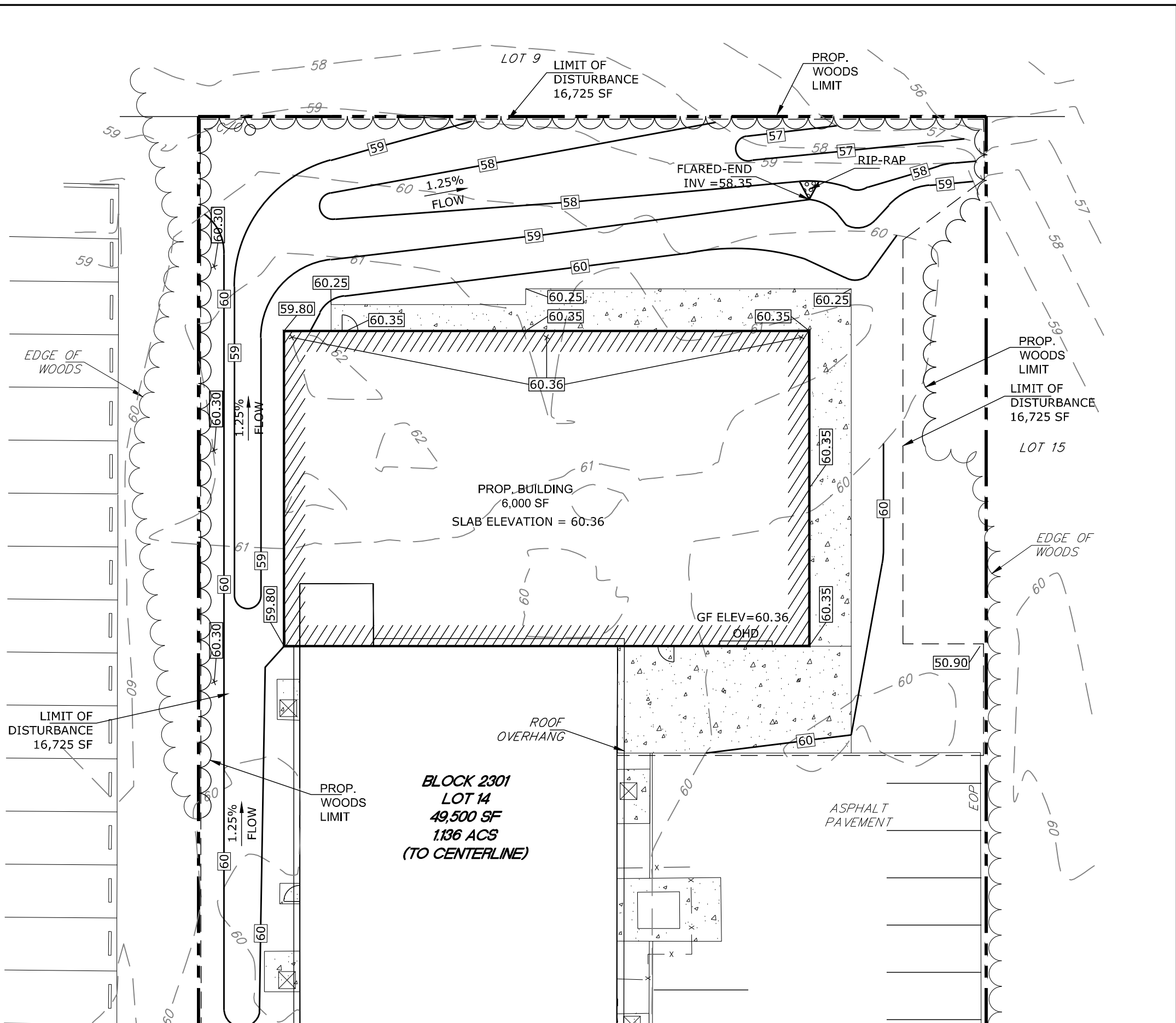


(IN FEET)
1 inch = 20 ft.



STORM PIPING LAYOUT
SCALE: 1" = 20'

DISTURBANCE LIMIT
SCALE: 1" = 20'



- GENERAL NOTES**
1. APPLICANT/OWNER: TECHNITOL, INC. C/O PETE WELDING
1028 INDUSTRIAL DRIVE
BERLIN, NJ 08091
PH: 856-768-2707
EMAIL: PETE@TECHNITOL.COM
 2. THE SITE IS LOCATED AT 1048 INDUSTRIAL DRIVE AND KNOWN AS BLOCK 2301, LOT 14 (SITE) PER BERLIN TOWNSHIP TAX MAP.
 3. THE SITE IS A DEVELOPED LOT CONTAINING A 9,600 SF OFFICE AND WAREHOUSE LOCATED WITHIN THE I-1 INDUSTRIAL ZONING DISTRICT OF BERLIN TOWNSHIP.
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 5. BASED ON THE AFOREMENTIONED SURVEY THE TOTAL AREA OF LOT 14 IS 49,500 SF +/- TO CENTERLINE.
 6. THE OPERATION CURRENTLY OPERATES TWO SHIFTS
 7. THE SITE IS SERVICED BY EXISTING SEPTIC AND WELL.
 8. SITE ACCESS WILL BE THE EXISTING TWO-WAY DRIVEWAY ALONG INDUSTRIAL DRIVE.
- PROPOSAL:**
9. THE APPLICANT SEEKS TO CONSTRUCT A NEW 6,000 SF WAREHOUSE TO PROVIDE ADDITIONAL ROOM FOR THEIR MANUFACTURING FACILITIES.
 10. NUMBER OF EMPLOYEES: 10 (MAX SHIFT)
 11. THE SITE DOES NOT GENERATE MORE THAN 1+/- ACRE OF LAND DISTURBANCE NOR CREATE MORE THAN 0.25 ACRES OF REGULATED MOTOR VEHICLE SURFACE.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	UTILITY POLE
ADJACENT LOT LINE	REBAR
EDGE OF PAVEMENT	CONCRETE MONUMENT
CONTOUR	SPOT SHOT
WOODS LINE	

LEGEND	
EXISTING	PROPOSED
LIMIT OF DISTURBANCE	BUILDING
HDPE STORM PIPE	SPOT SHOT
SILT FENCE	CONCRETE
CONTOUR	
RIP-RAP	

NOTES:

- 1) DEPTH OF COVER OVER HDPE PIPE: 3'-0" MINIMUM 30'-0" MAXIMUM.
- 2) DEPTH OF TRENCH STABILIZATION MATERIALS PROVIDED IF AND WHERE DIRECTED BY DESIGN ENGINEER
- 3) TRENCH STABILIZATION MATERIAL SHALL BE NO. 57 STONE.
- 4) INITIAL BACKFILL MATERIAL TO BE SOIL AGGREGATE 1-8 OR EQUAL.

STORM PIPE BEDDING
N.T.S.

FLARED END SECTION
N.T.S.

NO.	DATE	DESCRIPTION	BY
1	05/18/2021	ORIGINAL SUBMISSION DATE	PPB

REVISIONS

**TECHNITOL WAREHOUSE EXPANSION
PRELIMINARY AND FINAL MAJOR SITE PLAN**

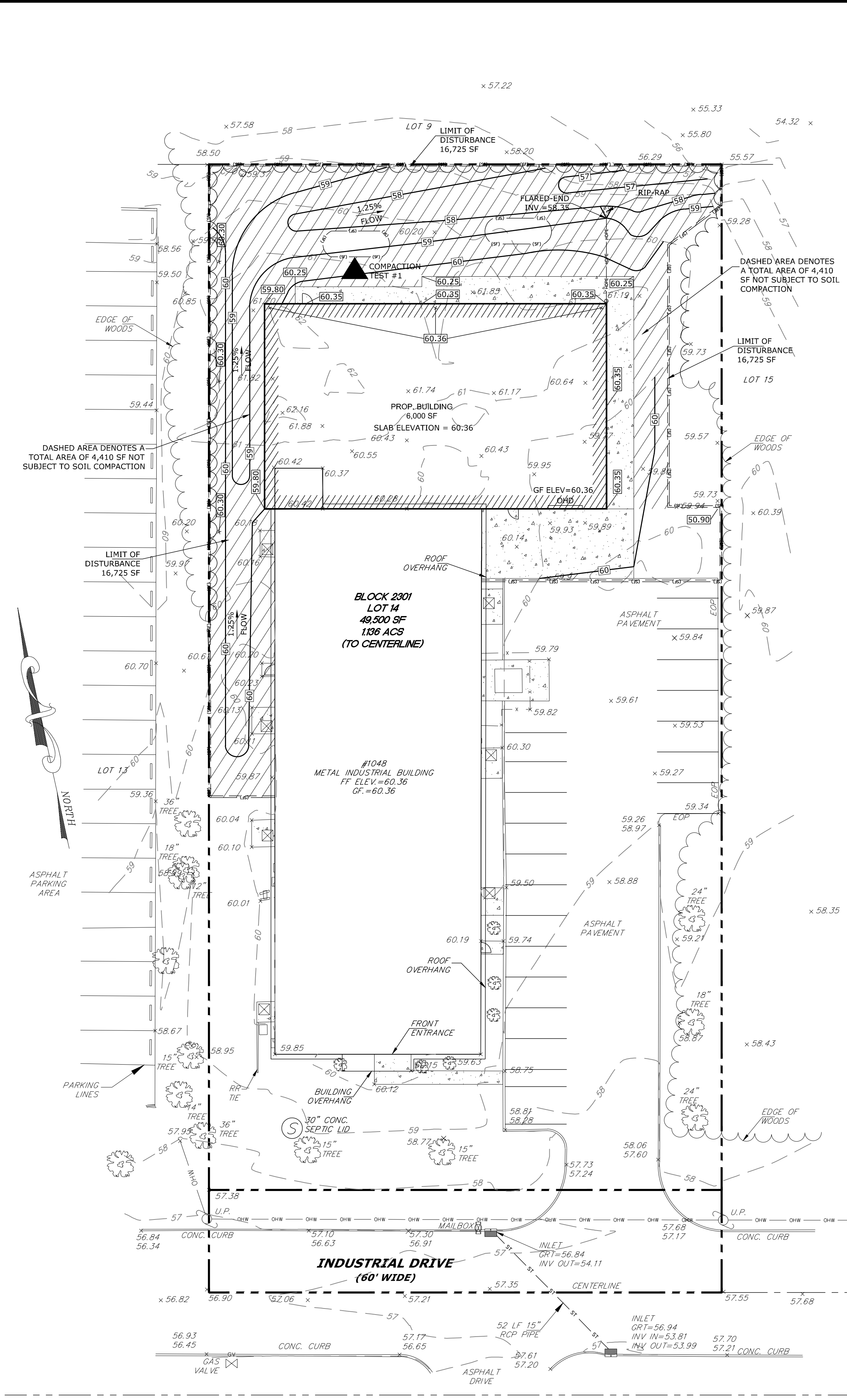
BLOCK 2301, LOT 14
1048 INDUSTRIAL DRIVE
BERLIN TOWNSHIP
CAMDEN COUNTY, NEW JERSEY

AVILA ENGINEERING	• FEASIBILITY ANALYSIS • LAND DEVELOPMENT • SITE PLANNING	AE
228 WEST WHITE HORSE PIKE - SUITE B BERLIN, NJ 08009	PHONE: 856-809-2572 FAX: 856-809-2580 E-MAIL: CORP@AVILA-ENG.COM	
Certificate of Authorization 24GA28116600		

Designed By: MEA	
Drawn By: PPB	
Checked By: MEA	
Date: 05/18/2021	
Scale: 1"=20'	
CADD File: 03-GRADE	
Project No: 21-0991	
Sheet No.	

Title: GRADING AND DRAINAGE PLAN

3 OF 4



SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. THE SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITIES.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AS ADOPTED IN JULY 1999, SIXTH EDITION OR MOST RECENT EDITION.
3. THE CONSERVATION DISTRICTS INSPECTOR SHALL BE PRESENT AT THE PROJECTS PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER, SITE CONTRACTOR, ETC. IF THE TOWNSHIP ENGINEER DOES NOT SCHEDULE A PRE-CONSTRUCTION MEETING IT IS THE RESPONSIBILITY OF THE DEVELOPER/BUILDER TO SCHEDULE A MEETING PRIOR TO ANY LAND DISTURBANCE.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES AND SHALL BE MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
5. UPON COMPLETION OF ROUGH GRADING, ALL OUTBOUND PERIMETER AREAS WILL BE VEGETATIVELY STABILIZED.
6. DUST TO BE CONTROLLED BY THE APPLICATION OF WATER TO THE SURFACE OR BY OTHER METHOD APPROVED BY THE SOIL CONSERVATION DISTRICT. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER OR HIS ASSIGNED REPRESENTATIVE.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF, HOWEVER, THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE AND ANCHORED ACCORDING TO STATE STANDARDS.
8. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
9. IN ORDER TO STABILIZE STREET, ROADS, DRIVEWAYS AND PARKING AREAS, A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
10. ALL CRITICAL AREAS SUBJECT TO EROSION (SLOPES GREATER THAN 3:1) WILL IMMEDIATELY RECEIVE, AFTER INITIAL DISTURBANCE OR ROUGH GRADING, A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE ACCORDING TO STATE STANDARDS.
11. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1.
12. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS INSTALLATION PROCEEDS. IT SHALL BE UNDERLAIN WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED AS NEEDED. ALL CHANNELS AND OUTLETS SHALL BE STABILIZED PRIOR TO, OR IN CONJUNCTION WITH THE INSTALLATION OF CONDUITS.
13. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE RIP RAP PAD MUST BE 100 FEET IN LENGTH AND THE STONE MUST BE 1.5" - 4" IN SIZE, PLACED 12" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED.
14. ALL DRIVEWAYS FOR INDIVIDUAL LOT CONSTRUCTION MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUB-BASE.
15. IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL HAVING pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.
16. AT THE TIME WHEN PERMANENT VEGETATION IS TO BE ESTABLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR THE ESTABLISHMENT OF PERMANENT VEGETATION. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
17. N.J.S.A. 42:43-43.43 REQUIRES THAT NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES AND ALL SITE WORK FOR SITE PLANS AND ALL WORK FOR INDIVIDUAL LOTS IN SUBDIVISIONS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
18. BASIN TO BE PERMANENTLY STABILIZED PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
19. PLANS FOR MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND AFTER SHALL BE THE RESPONSIBILITY OF THE OWNER, AS APPLICABLE.
20. ALL CONTROL MEASURES APPLYING TO DWELLING CONSTRUCTION ON INDIVIDUAL LOTS SHALL APPLY TO SUBSEQUENT OWNER IF TITLE IS CONVEYED.
21. INFRASTRUCTURE AND STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED AND VEGETATIVELY STABILIZED PRIOR TO THE DISTRICT ISSUING CERTIFICATE OF COMPLIANCE FOR DWELLING UNITS.
22. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE COUNTY SOIL CONSERVATION DISTRICT FOR RE-CERTIFICATION. THE REVISED PLAN MUST MEET ALL CURRENT NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
23. THE COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP AND PARTIES RESPONSIBLE FOR THE IMPLEMENTATION OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN.
24. THE DISTRICT EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL MEASURES TO BE INSTALLED.
25. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES AND ANY DEBRIS GENERATED MUST BE DISPOSED OF ACCORDINGLY.
26. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EACH STORM EVENT BY THE RESPONSIBLE PARTY.
27. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
28. ALL SOIL STOCKPILES SHALL BE KEPT AS FAR AWAY AS PRACTICAL FROM EXISTING DWELLINGS.
29. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOOD PLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE PERIMETER BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
30. THE SITE SHALL BE GRADED MAINTAINED AT ALL TIMES SUCH THAT ALL STORMWATER RUNOFF IDES DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
31. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION.
32. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. FIELD PLACEMENT AND USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICTS EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING.
33. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR BUILDER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER, AND SEED APPLICATION RATES AT THE REQUEST OF THE COUNTY SOIL CONSERVATION DISTRICT.
34. N.J.S.A. 42:43-43.43 REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.
35. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE DISTRICT EROSION CONTROL INSPECTOR.
36. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
37. ANY CONVEYANCE OF THIS PROJECT PRIOR TO COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ALL SUBSEQUENT OWNERS.
38. IMMEDIATELY AFTER THE COMPLETION OF THE STRIPPING AND STOCKPILING TOPSOIL, HE STOCKPILE SHALL BE SEEDDED WITH TEMPORARY VEGETATION AND THE STOCKPILE STABILIZED WITH STRAW MULCH FOR PROTECTION OF THE SEASON DOES NOT PERMIT THE ESTABLISHMENT OF TEMPORARY SEED.
39. FILL MATERIAL SHALL BE FREE OF ROOTS, WOODY VEGETATION, STONES LARGER THAN 6" OR ANY OTHER DELETERIOUS MATERIAL. THE FILL SHALL BE THOROUGHLY COMPACTED TO OBTAIN A PROCTOR DENSITY OF AT LEAST 95%.
40. AREAS OUTSIDE OF THE LIMIT OF DISTURBANCE ARE TO REMAIN UNDISTURBED.
41. THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL HAVE SPECIFIC REQUIREMENTS FOR TOPSOILING, THE INSTALLATION OF SOD, TEMPORARY AND/OR PERMANENT VEGETATIVE COVER, LAND GRADING AND CONSTRUCTION OF INFILTRATION STRUCTURES. THE TEXT FOUND ON PAGES 4-2 (SEC. 2C), 6-2 (SEC. 2D), 7-1 (SEC. 1C), 8-2 (SEC. 1D), 9-2 (LAST PARAGRAPH), 38-8 (4TH PARAGRAPH) & 38-12 (1ST PARAGRAPH) SERVE TO HELP MINIMIZE SOIL COMPACTION ISSUES AND TO REDUCE MAINTENANCE NEEDS. PLEASE NOTE THESE SPECIFIC CONSTRUCTION SPECIFICATION HEREIN REFERENCED ON THE PLAN TO HELP ENSURE THAT THE BASIN WILL FUNCTION AS DESIGNED.
42. ADDITIONAL MEASURES WILL BE REQUIRED IF EROSION DEVELOPES ON BASIN SLOPES.

SOIL RESTORATION MEASURES

SOIL COMPACTION MITIGATION NOTES

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.
 3. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- ADDITIONAL NOTES FOR PROJECTS WITH BASINS
4. BASIN MUST BE PROPERLY CONSTRUCTED AND PERMANENTLY STABILIZED, AND CONDUIT OUTLET PROTECTION INSTALLED, PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
 5. THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL HAVE SPECIFIC REQUIREMENTS FOR TOPSOILING, THE INSTALLATION OF SOD, TEMPORARY AND/OR PERMANENT VEGETATIVE COVER AND LAND GRADING. THE TEXT FOUND ON PAGES 4-2 (SEC. 1B), 6-2 (SEC. 2D), 7-1 (SEC. 1C), 8-2 (SEC. 1D) AND 19-4 (SECOND TO LAST SECTION) SERVE TO HELP MINIMIZE SOIL COMPACTION AND REDUCE MAINTENANCE.
 6. OWNERSHIP AND RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE DETENTION STRUCTURE MUST BE DETERMINED DURING DESIGN AND SHOWN ON THE PLANS AND ON THE COMPLETED "HYDRAULIC AND HYDROLOGIC DATA BASE SUMMARY FORM" TO BE EFFECTIVE OVER A LONG PERIOD OF TIME, THE STRUCTURE MUST BE PROPERLY MAINTAINED.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES) FOR TOPSOIL REQUIREMENTS SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN. SEE EXHIBIT A SITE PLAN AT [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRCN/SOILEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrcn/soilerosion.html)
 3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE SOIL COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT OR [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRCN/SOILEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrcn/soilerosion.html). THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- COMPACTION TESTING METHODS
- A. PROBE WIRE TEST
 - B. HAND-HELD PENETROMETER TEST
 - C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
 - D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
17. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
 18. PROCEDURES FOR SOIL COMPACTION MITIGATION
 19. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 20. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

PERMANENT VEGETATIVE COVER

PERMANENT VEGETATIVE COVER MEANS ESTABLISHING 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE LISTED BELOW FOR THE SEEDING AREA AND NODDED ONCE.

1. SITE PREPARATION

- A. GRADE AS NEEDED AS FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING AND, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHALL BE DONE IN ACCORDANCE FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEM, ETC.).
- C. INSTALL NEEDED EROSION PRACTICES OR FACILITIES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS BY RUTGERS COOPERATIVE EXTENSION. FERTILIZER SHALL BE APPLIED AT THE RATE 1500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES.

LIMESTONE APPLICATION RATE BY TEXTURE

CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3 TONS/ACRE	135 LBS./1000 SQ. FT.
SANDY LOAM, LOAM, SILT LOAM	2 TONS/ACRE	90 LBS./1000 SQ. FT.
LOAMY SAND, SAND	1 TON/ACRE	45 LBS./1000 SQ. FT.

- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- F. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHEREVER THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEM, ETC.).

G. HIGH ACID PRODUCING SOIL

SOILS HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. MANAGEMENT OF HIGH ACID PRODUCING SOILS ARE FOUND IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 6TH EDITION.

3. SEEDING

H. SEEDING MIXTURES ARE INDICATED BELOW FOR PLANT HARDINESS ZONE 7A.

SEED MIXTURE	RATE PER 1000 SQ. FT.	OPTIMUM SEEDING DATES	ACCEPTABLE DATES
TALL FESCUE	3.7	21 - 4/30 & 8/15 - 11/30	5/1 - 8/14
KENTUCKY BLUE GRASS	1.4	21 - 4/30 & 8/15 - 11/30	5/1 - 8/14
PERENNIAL RYE GRASS	0.7	21 - 4/30 & 8/15 - 11/30	5/1 - 8/14

STANDARDS FOR MULCHING

1. MULCHING IS REQUIRED ON ALL SEEDING.
2. UNROTTED SMALL GRASS STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 2 TONS PER ACRE (90 POUNDS PER SQ. FT.).
3. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED.
4. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND WATER. ACCEPTABLE ANCHORING METHODS ARE PEG AND TWINE, MULCH NETTINGS, CRIMPER AND LIQUID MULCH-BINDERS. THE INSTALLATION OF THESE METHODS MUST BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, SIXTH EDITION.

STANDARDS FOR TOPSOIL

1. TOPSOIL SHALL HAVE A MINIMUM OF 2.75% ORGANIC MATTER CONTENT.
2. TOPSOIL SHOULD BE FRIABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH.
3. TOPSOIL, IF USED, SHOULD ONLY BE HANDLED WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
4. APPLY TOPSOIL IN A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED.
5. SOILS WITH A pH OF 4.0 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A pH OF 5.0 OR MORE IN ACCORDANCE WITH THE "STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS" CONTAINED WITHIN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 6TH EDITION.

TEMPORARY VEGETATIVE COVER

PERMANENT VEGETATIVE COVER MEANS ESTABLISHING 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE LISTED BELOW FOR THE SEEDING AREA AND NODDED ONCE.

1. SITE PREPARATION

- A. GRADE AS NEEDED AS FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING AND, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHALL BE DONE IN ACCORDANCE FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEM, ETC.).
- C. INSTALL NEEDED EROSION PRACTICES OR FACILITIES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS BY RUTGERS COOPERATIVE EXTENSION. FERTILIZER SHALL BE APPLIED AT THE RATE 1500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.

LIMESTONE APPLICATION RATE BY TEXTURE

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- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
- D. SOILS HIGH IN SULFIDES OR HAVING A pH OF 4 OR LESS REFER TO MANAGEMENT OF HIGH ACID PRODUCING SOILS FOUND IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 6TH EDITION.

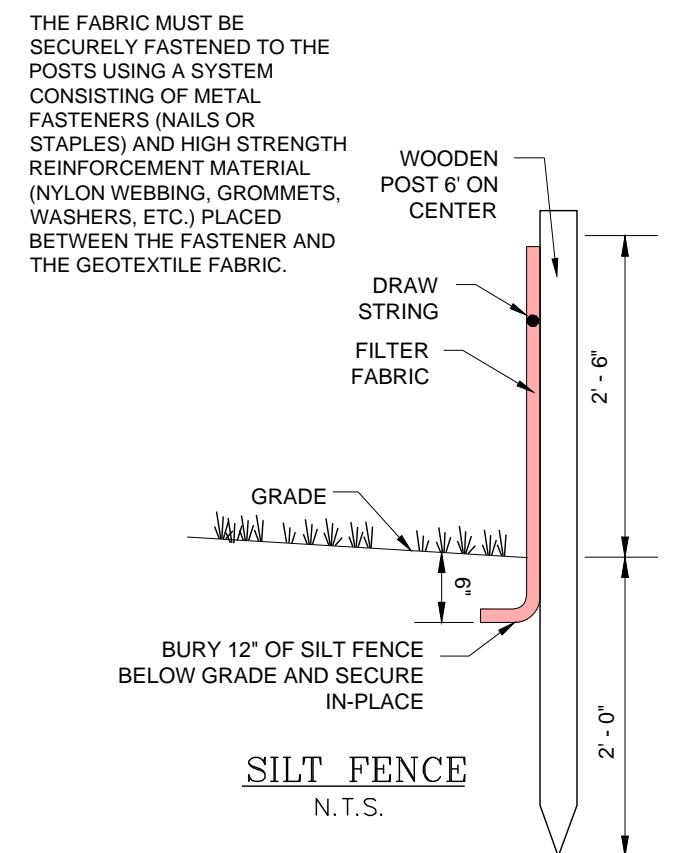
3. SEEDING

A. SEEDING MIXTURES ARE INDICATED BELOW FOR PLANT HARDINESS ZONE 7A.

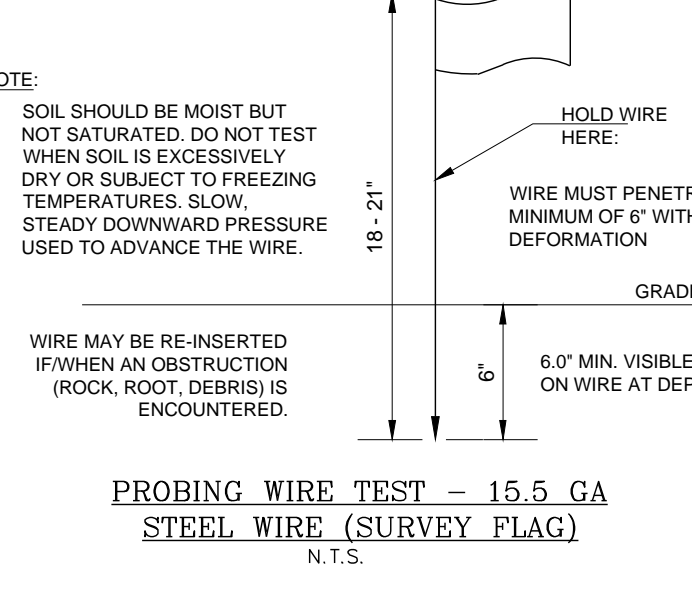
SEED MIXTURE	RATE PER 1000 SQ. FT.	OPTIMUM SEEDING DATES	OPTIMUM SEED DEPTH
COOL SEASON GRASSES:			
PERENNIAL RYE GRASS	1.0	21/5 - 5/1 & 8/15 - 10/5	0.5"
SPRING OATS	2.0	21/5 - 5/1 & 8/15 - 10/1	1.0"
WINTER BARLEY	2.2	8/15 - 10/15	1.0"
WINTER CEREAL RYE	2.8	8/1 - 12/15	1.0"
WARM SEASON GRASSES			
PEARL MILLET	0.5	5/1 - 9/1	1.0"
WHEAT (DARWIN OR HUNGARIAN)	0.7	5/1 - 9/1	1.0"
WEEPING LOVE GRASS	0.2	5/1 - 9/1	0.25"

IF THE SEED AREA IS TO BE HYDROSEEDED INCREASE THE RATE BY A MINIMUM OF 25%.

*MAY BE PLANTED THROUGHOUT THE SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDING AREA CAN BE IRRIGATED



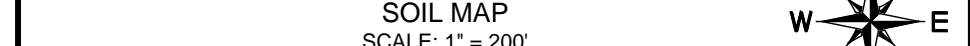
SILT FENCE N.T.S.



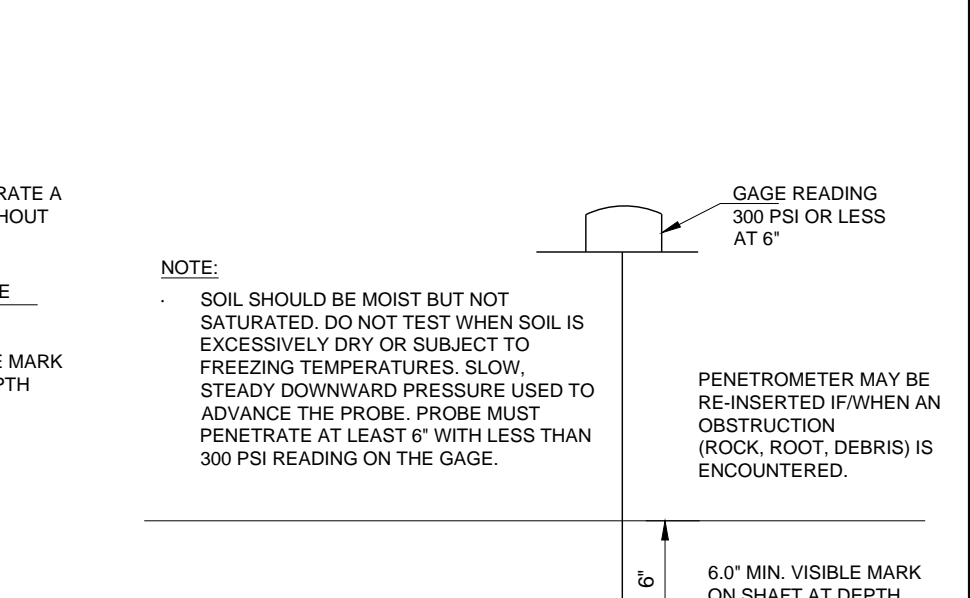
PROBING WIRE TEST - 15.5 GA STEEL WIRE (SURVEY FLAG) N.T.S.



SOIL MAP SCALE: 1" = 200'



- GENERAL NOTES
1. APPLICANT/OWNER: TECHNITOL, INC. C/O PETE WELDING
1028 INDUSTRIAL DRIVE
BERLIN, NJ 08001
PH: 856-768-2707
EMAIL: PETE@TECHNITOL.COM
 2. THE SITE IS LOCATED AT 1048 INDUSTRIAL DRIVE AND KNOWN AS BLOCK 2301, LOT 14 (SITE) PER BERLIN TOWNSHIP TAX MAP.
 3. THE SITE IS A DEVELOPED LOT CONTAINING A 9,600 SF OFFICE AND WAREHOUSE LOCATED WITHIN THE J-1 INDUSTRIAL ZONING DISTRICT OF BERLIN TOWNSHIP.
 4. OUTBOUND AND OTHER SITE INFORMATION WAS TAKEN FROM SURVEY TITLED "EXISTING CONDITIONS PLAN" DATED 05/01/2021 THAT WAS PREPARED BY REL SURVEY, LLC.
 5. BASED ON THE AFOREMENTIONED SURVEY THE TOTAL AREA OF LOT 14 IS 49,500 SF +/- TO CENTERLINE.
 6. THE OPERATION CURRENTLY OPERATES TWO SHIFTS
 7. THE SITE IS SERVICED BY EXISTING SEPTIC AND WELL.
 8. SITE ACCESS WILL BE THE EXISTING TWO-WAY DRIVEWAY ALONG INDUSTRIAL DRIVE.
- PROPOSAL:
9. THE APPLICANT SEEKS TO CONSTRUCT A NEW 6,000 SF WAREHOUSE TO PROVIDE ADDITIONAL ROOM FOR THEIR MANUFACTURING FACILITIES.
 10. NUMBER OF EMPLOYEES: 10 (MAX SHIFT)
 11. THE SITE DOES NOT GENERATE MORE THAN 1-ACRE OF LAND DISTURBANCE NOR CREATE MORE THAN 0.25 ACRES OF REGULATED MOTOR VEHICLE SURFACE.



HANDHELD SOIL PENETROMETER TEST N.T.S.

- LEGEND
- (SF) --- PROPOSED SILT FENCE
 - - - - - PROPOSED DISTURBANCE
 - ▲ SOIL COMPACTION TEST LOCATION
 - /// AREA NOT SUBJECT TO SOIL COMPACTION

NO.	DATE	DESCRIPTION	BY
1	05/18/2021	ORIGINAL SUBMISSION DATE	PPB

TECHNITOL WAREHOUSE EXPANSION PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 2301, LOT 14 1048 INDUSTRIAL DRIVE BERLIN TOWNSHIP CAMDEN COUNTY, NEW JERSEY

AVILA ENGINEERING

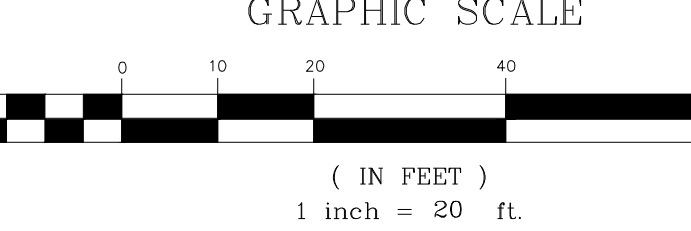
228 WEST WHITE HORSE PIKE - SUITE B
BERLIN, NJ 08009

PHONE: 856-809-2572
FAX: 856-809-2580
E-MAIL: CORP@AVILA-ENG.COM

FEASIBILITY ANALYSIS
LAND DEVELOPMENT
SITE PLANNING

Designed By:	MEA
Drawn By:	PPB
Checked By:	
Date:	05/18/2021
Scale:	1"=20'
CADD File:	04-SCS
Project No:	21-0991
Sheet No.	

THIS PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.



REPRODUCTION OR USE HEREOF IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION BY AVILA ENGINEERING. PLANS WITHOUT A RAISED SEAL SHALL NOT BE CONSIDERED VALID FOR ANY PURPOSE.