

PRELIM/FINAL LAND DEVELOPMENT PLANS

OF

MY ANGELO'S PIZZA LD

A COMMERCIAL SITE AT
168 HADDON AVE
WEST BERLIN, NJ 08091
BLOCK 625, LOT 1
BERLIN TOWNSHIP, CAMDEN
COUNTY, NEW JERSEY

PREPARED FOR
SALVATORE CUSUMANO

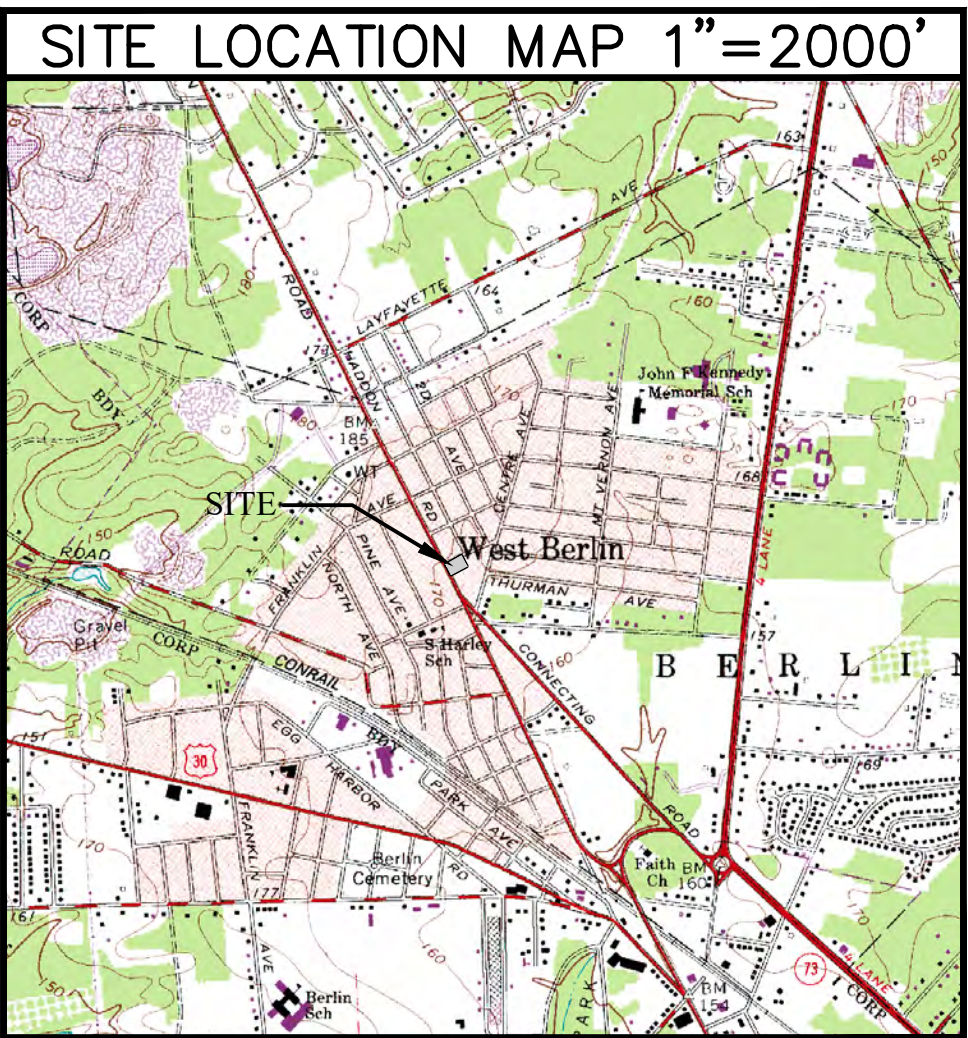
70 SULLIVAN WAY
MARLTON, NJ 08053

PLANS PREPARED BY



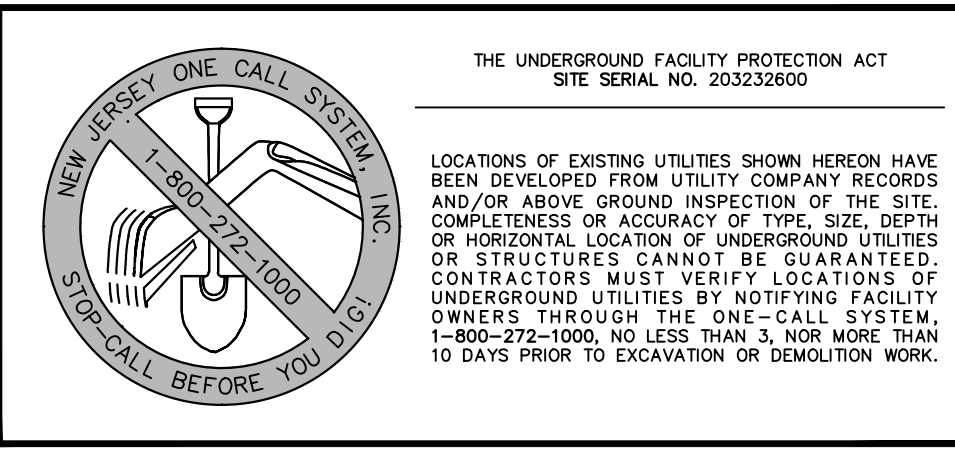
769 State Street
Hamburg, PA 19526
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CIVIL ENGINEERING ⚡ LAND DEVELOPMENT ⚡ SITE SURVEY ⚡ A/E TELECOM

The
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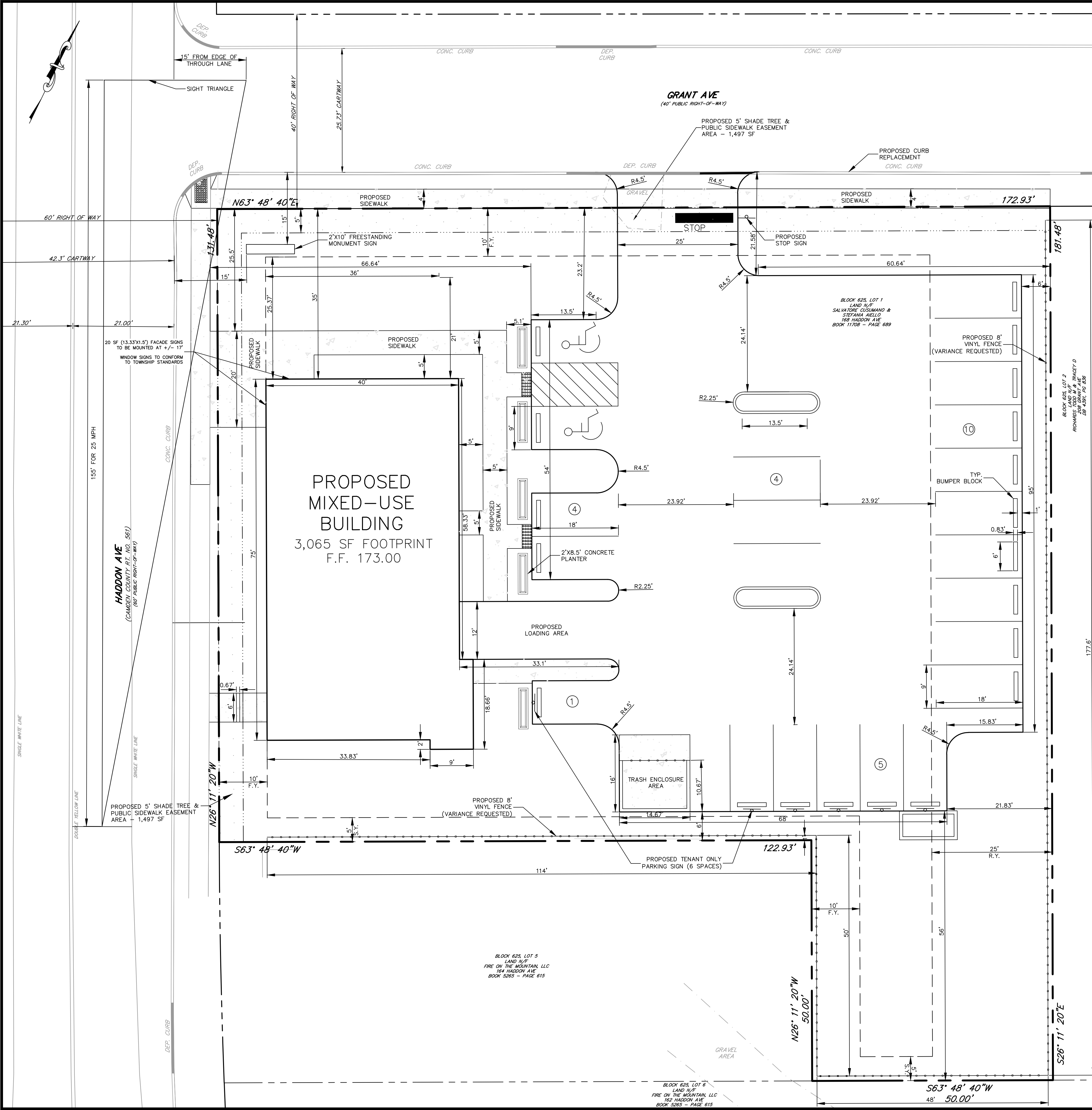


PLAN REVISIONS		
NO.	REVISION DESCRIPTION	DATE
1	PER TOWNSHIP ENGINEER CURSORY REVIEW (3-5-21)	04/23/21
2	PER TOWNSHIP ENGINEER REVIEW (6-9-21)	08/05/21

Note: These plans are not to be used for construction unless the plan contains a red stamp indicating "ISSUED FOR CONSTRUCTION" by The Crossroads Group, LLC. The Crossroads Group, LLC shall assume no liability for construction performed from plans not containing this stamp.



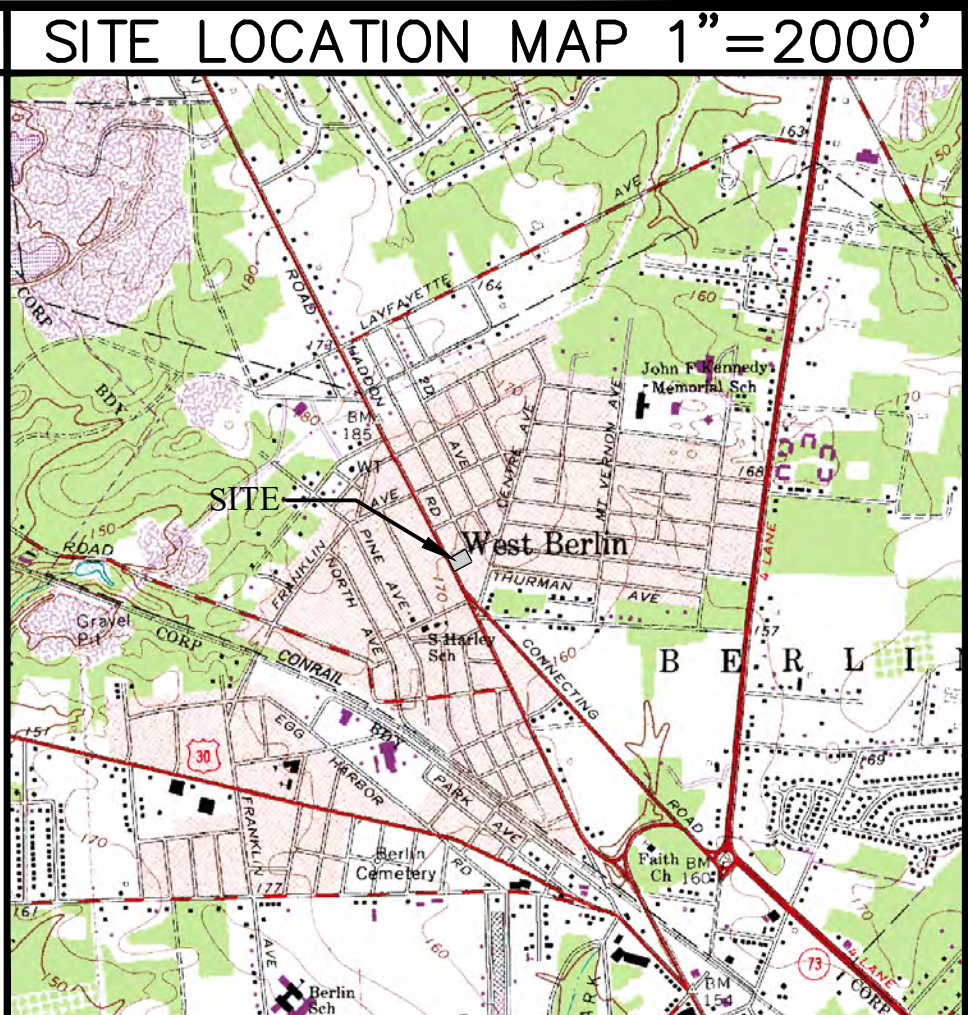
MY ANGELO'S PIZZA LD
SALVATORE CUSUMANO
BERLIN TOWNSHIP, CAMDEN COUNTY, NEW JERSEY
PROJECT NUMBER: 3824



- ### RECORDING NOTES
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE BERLIN TOWNSHIP ZONING ORDINANCE. THE PROPOSAL INCLUDES A 3,065 SF BUILDING WITH A FIRST FLOOR RESTAURANT/TENANT SPACE AND THREE (3) SECOND FLOOR RESIDENTIAL APARTMENTS WITH ASSOCIATED PUBLIC OFF-STREET PARKING AND LOADING AREAS. PER SECTION 340-125.4 OF THE BERLIN TOWNSHIP ZONING ORDINANCE THE RESTAURANT IS SUBJECT TO CONDITIONAL USE AND CONFORMS TO THE FOLLOWING CONDITIONS:
 - ALL WASTE AND GARBAGE IS TO BE STORED INSIDE THE MAIN BUILDING OR IN A SEPARATELY ENCLOSED STRUCTURE WHICH WILL COMPLETELY CONFINED ODORS.
 - NO DRIVE-IN OR DRIVE-UP SERVICE SHALL BE PERMITTED.
 - THE LOCATION MUST BE ON THE GROUND FLOOR OF THE BUILDING. STORAGE IN A BASEMENT IS ACCEPTABLE.
 - THE EXHAUST SYSTEM SHALL PREVENT ODORS AND NOT AFFECT OR DISTURB NEARBY COMMERCIAL AND RESIDENTIAL USES OR INTRUDE ON ANY STREET, SIDEWALK OR WALKWAY. THIS SHALL INCLUDE THE REQUIREMENT OF FILTERS OR OTHER TECHNOLOGICALLY ADEQUATE MEANS OF ELIMINATING OILS, GREASE AND ODORS FROM THE EXHAUST. SUCH VENTS SHALL BE INTERIOR AND EXIT THROUGH THE ROOF.
 - ALL PROPERTY CORNERS SHALL BE MARKED WITH IRON PINS UPON FINAL GRADING.
 - THE DEVELOPER, ITS SUCCESSORS OR ASSIGNS, HEREBY RESERVES THE RIGHT TO ENTER UPON EACH AND EVERY LOT AND AREA OF THE SUBDIVISION/DEVELOPMENT DEPICTED HEREON, UNTIL EXPIRATION OF THE STATUTORY MAINTENANCE PERIOD FOLLOWING DEDICATION OF PUBLIC IMPROVEMENTS FOR THE PURPOSE OF COMPLETING ANY LANDSCAPING AS REQUIRED BY THE MUNICIPALITY AND FURTHER, TO MAKE SUCH MODIFICATIONS IN GRADING AND/OR DRAINAGE IMPROVEMENTS ON ANY LOT AS MAY BE NECESSARY IN THE DISCRETION OF THE DEVELOPER, ITS SUCCESSORS OR ASSIGNS, AND/OR THE MUNICIPAL ENGINEER FOR SATISFACTORY STORMWATER MANAGEMENT.
 - SITE GRADING MAY WARRANT CONSTRUCTION OF RETAINING WALLS OR RETAINING STRUCTURES TO PROVIDE FOR PROPER SUPPORT AND/OR DRAINAGE FOR CERTAIN LOTS, EITHER TO THE USE AND BENEFIT OF THE LOT ON WHICH SAME MAY BE SITUATED, OR TO THE USE AND BENEFIT OF AN ADJOINING LOT OR LOTS. THE DEVELOPER RESERVES THE SOLE DISCRETION WITH REGARD TO ERECTION OF SAME PRIOR TO SETTLEMENT ON ANY INDIVIDUAL LOT. SAID RETAINING WALLS SHALL BE LIMITED TO A MAXIMUM OF 3 FEET IN HEIGHT, AND APPROVAL BY THE TOWNSHIP ENGINEER SHALL BE OBTAINED FOR ALL RETAINING WALLS PRIOR TO INSTALLATION. SAID RETAINING WALLS OR RETAINING STRUCTURES SHALL NOT BE REMOVED OR ALTERED BY THE PURCHASER, HIS SUCCESSORS OR ASSIGNS, BUT SHALL REMAIN IN PLACE AND SHALL BE PROPERLY MAINTAINED BY THE OWNER OF THE LOT ON WHICH ERECTED.
 - WATER SERVICE SHALL BE PROVIDED BY BERLIN WATER DEPARTMENT. ALL WATER EASEMENTS AND FACILITIES SHALL BE DEDICATED TO BOROUGH OF BERLIN.
 - SANITARY SEWER SERVICE SHALL BE PROVIDED BY TOWNSHIP OF BERLIN. ALL SEWER EASEMENTS AND FACILITIES SHALL BE DEDICATED TO TOWNSHIP OF BERLIN.
 - NO PLANTINGS, TREES OR STRUCTURES SHALL BE PERMITTED WITHIN ANY PROPOSED EASEMENTS. EASEMENTS CROSSING LOTS SHALL BE MAINTAINED AS LAWN AREAS BY THE LOT OWNER.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH NJDOT SPECIFICATIONS AND STANDARDS AND BERLIN TOWNSHIP STANDARD SPECIFICATIONS, AS APPLICABLE.
 - THE DETENTION BASIN AND ASSOCIATED CONTROL STRUCTURES ARE PERMANENT STRUCTURES AND SHALL NOT BE REMOVED OR ALTERED. THE OWNER UPON WHICH THE DETENTION BASIN SETS SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE DETENTION BASIN, BASIN OUTLET STRUCTURE AND STORM PIPES WHICH ARE LOCATED THEREIN. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP.
 - THIS PLAN CONTAINS PRELIMINARY INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY, AND MAY NOT BE BASED ON AN ACTUAL SUBSURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THESE PLANS IS TO BE VERIFIED BY THE PLAN USER. THE PREPARED OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATION OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES. THE PLAN USER SHALL EXECUTE A NJ ONE CALL PRIOR TO ANY EXCAVATION ON THE SITE.

- ### SURVEY NOTES
- BOUNDARY SURVEY SHOWN HEREIN WAS PERFORMED VALLEY LAND SERVICES, LLC DECEMBER 9, 2020 UTILIZING AVAILABLE DEEDS AND PLANS OF RECORDS.
 - EXISTING TOPOGRAPHY INFORMATION SHOWN HEREIN WAS TAKEN FROM AN ACTUAL GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON NOVEMBER 24, 2020.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND EXISTING UNRECORDED EASEMENTS MAY EXIST.
 - DATUMS:
 - HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATES (NEW JERSEY STATE ZONE) ESTABLISHED UTILIZING KEYNET NETWORK.
 - VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVDS8)
 - BENCHMARK= MAG NAIL
 - ELEVATION = 172.22
 - THERE ARE NO WETLANDS OR WATERS OF THE STATE LOCATED ON THE SITE AS PER A FIELD DETERMINATION BY NATIONAL WETLANDS INVENTORY ON 12/22/2020.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT ARE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES BEFORE ANY EXCAVATION BEGINS.
 - THERE IS NO FLOODPLAIN LOCATED WITHIN THE SITE LIMITS BASED ON FEMA NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 3407010137E, EFFECTIVE 9/28/2007.

- ### LEGEND
- | | |
|--|--------------------------------------|
| | PROPOSED BUILDING |
| | PROPOSED BUILDING - SETBACK LINE |
| | PROPOSED EASEMENT - LINE |
| | PROPOSED ROAD CENTERLINE |
| | PROPOSED ROAD EDGE (PAVED/NO CURB) |
| | PROPOSED SEWER LATERAL |
| | PROPOSED WATER MAIN - PIPING |
| | PROPOSED WATER LATERAL |
| | PROPOSED FENCE LINE |
| | PROPOSED CURBLINE |
| | PROPOSED PAVEMENT MARKINGS |
| | PROPOSED CONCRETE |
| | PROPOSED RIP-RAP |
| | PROPOSED LIGHT POST |
| | PROPOSED TRAFFIC SIGN |
| | PROPOSED STREET NAME SIGN |
| | PROPOSED UTILITY POLE |
| | PROPOSED WELL |
| | PROPOSED HEADWALL/ENDWALL |
| | PROPOSED STORM SEWER LABEL |
| | PROPOSED CONCRETE MONUMENT |
| | PROPOSED IRON PIN (TO BE SET) |
| | PROPOSED CONTOUR |
| | PROPOSED CONTOUR INDEX |
| | PROPOSED SPOT ELEVATION |
| | PROPOSED SPILLWAY |
| | PROPOSED SPILLWAY - HATCH |
| | PROPOSED BERM - TEXT |
| | PROPOSED BERM - SHADE |
| | PROPOSED BERM - OUTLINE |
| | PROPOSED BUILDING - FIRST FLOOR TEXT |



OWNER INFORMATION

THE SUBJECT PARCEL IS IDENTIFIED BY THE FOLLOWING INFORMATION AS RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, CAMDEN COUNTY COURTHOUSE IN CAMDEN, NEW JERSEY.

MUNICIPALITY:	PARCEL NO.	PARCEL ADDRESS	DEED BOOK-PAGE:	PARCEL AREA:
BERLIN TOWNSHIP	0406-625-1	168 HADDON AVE	11708-689	0.58 AC.

TOTAL TRACT AREA: 0.58 AC. (BY SURVEY)

RECORD OWNER:
SALVATORE CUSUMANO & STEFANIA AIELLO
70 SULLIVAN WAY
MARLTON, NJ 08053

ZONING DATA

OBTAINED FROM THE BERLIN ZONING ORDINANCE, ORDINANCE 2007-23, DATED NOVEMBER 26, 2007.

ZONING DISTRICT:	CBD - CENTRAL BUSINESS DISTRICT
PROPOSED USE:	1ST FLOOR RESTAURANT/TENANT SPACE & 2ND FLOOR RESIDENTIAL
MINIMUM REQUIREMENTS	REQUIRED PROPOSED
MINIMUM LOT AREA:	10,000 SF 25,237 SF
MINIMUM LOT WIDTH:	50 FT 145 FT
MINIMUM FRONT YARD BUILDING SETBACK:	10 FT 10 FT
MINIMUM SIDE YARD BUILDING SETBACK:	5 FT 28.15 FT
MINIMUM REAR YARD BUILDING SETBACK:	25 FT 112.68 FT
MAXIMUM BUILDING COVERAGE:	65% 12%
MAXIMUM IMPERVIOUS COVERAGE:	80% 64%
MAXIMUM BUILDING HEIGHT:	40 FT 26.83 FT

PARKING SCHEDULE

MINIMUM REQUIREMENTS	REQUIRED	PROPOSED
RESTAURANTS: ONE SPACE PER THREE (3) SEATS (13 SEATS PROPOSED)	10.33 SPACES	11 SPACES
RESTAURANTS: ONE SPACE FOR EACH TWO (2) EMPLOYEES ON THE SHIFT OF THE GREATEST EMPLOYMENT (4 EMPLOYEES)	2 SPACES	2 SPACES
APARTMENTS: TWO (2) SPACES PER BEDROOM (3 APARTMENTS WITH 2 BEDROOMS PROPOSED)	6 SPACES	6 SPACES
TENANT SPACE: ONE (1) SPACE PER 250 SF OF GROSS FLOOR AREA (1096 SF)	4.38 SPACES	5 SPACES
BUSINESS USE LOADING AREA	ONE 12'X33'X14'4" AREA	ONE 12'X33'X14'4" AREA*

TOTAL PARKING SPACES: 24 + 1 LOADING AREA

RECORDING ACKNOWLEDGMENTS

STATE OF NEW JERSEY) COUNTY OF CAMDEN) SS: I CERTIFY THAT ON THIS _____ DAY OF _____, 20____, PERSONALLY CAME BEFORE ME AND STATED TO MY SATISFACTION THAT THIS PERSON: (A) WAS THE MAKER OF THE ATTACHED INSTRUMENT; (B) WAS AUTHORIZED TO DO AND DID EXECUTE THIS AGREEMENT AS THE PRESIDENT OF _____, A CORPORATION, THE ENTITY NAMED IN THIS AGREEMENT AND (C) EXECUTED THIS AGREEMENT AS THE ACT OF THE ENTITY NAMED IN THIS AGREEMENT.

NOTARY PUBLIC: _____ FINAL SITE APPROVAL GRANTED ON THIS _____ DAY OF _____, 20____ BY THE TOWNSHIP OF BERLIN PLANNING BOARD.

SECRETARY: _____ I HEREBY CERTIFY THAT THE ENGINEERING CONDITIONS IMPOSED ON THIS APPLICATION FOR FINAL SITE PLAN APPROVAL HAVE BEEN MET.

TOWNSHIP ENGINEER: _____ RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CAMDEN, AT CAMDEN, NEW JERSEY, IN _____ PAGE NUMBER _____ ON THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS: _____

THE UNDERGROUND FACILITY PROTECTION ACT SITE SERIAL NO. 203232600

NEW JERSEY ONE CALL SYSTEM, INC.
STOP CALL BEFORE YOU DIG

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM 1-800-272-1000, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

ENGINEERS CERTIFICATION

2425050500

JOSHUA D. HOAG AND

The Crossroads
GROUP, LLC

www.thecrossroadsgroup.com
760 Shaw Street
Hamburg, PA 15066
Fax: 484-660-3742
E-mail: info@thecrossroads.com
Phone: 484-660-3742

CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & A/E/TELECOM

MY ANGELO'S PIZZA LD
SALVATORE CUSUMANO

BERLIN TOWNSHIP, CAMDEN COUNTY, NEW JERSEY

PROJECT MANAGER: JH

DRAWING FILE NAME: ZSUB

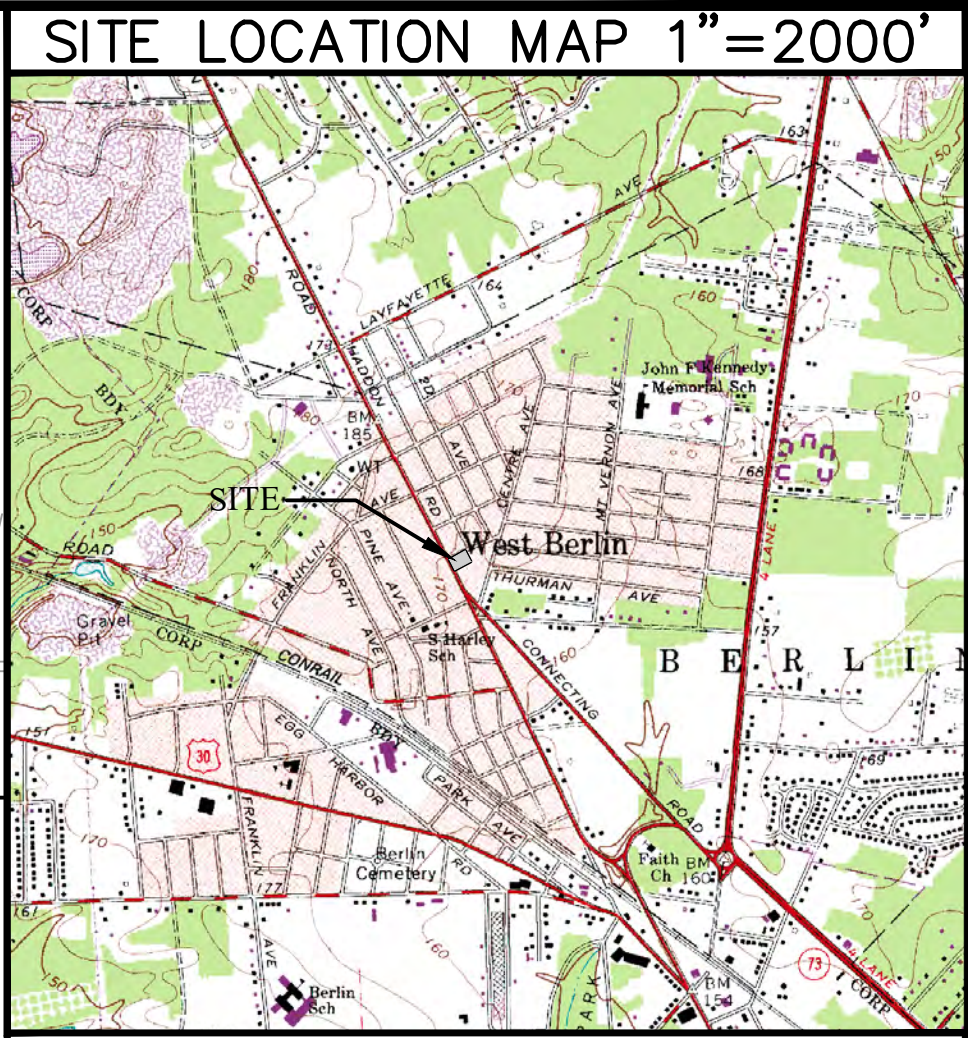
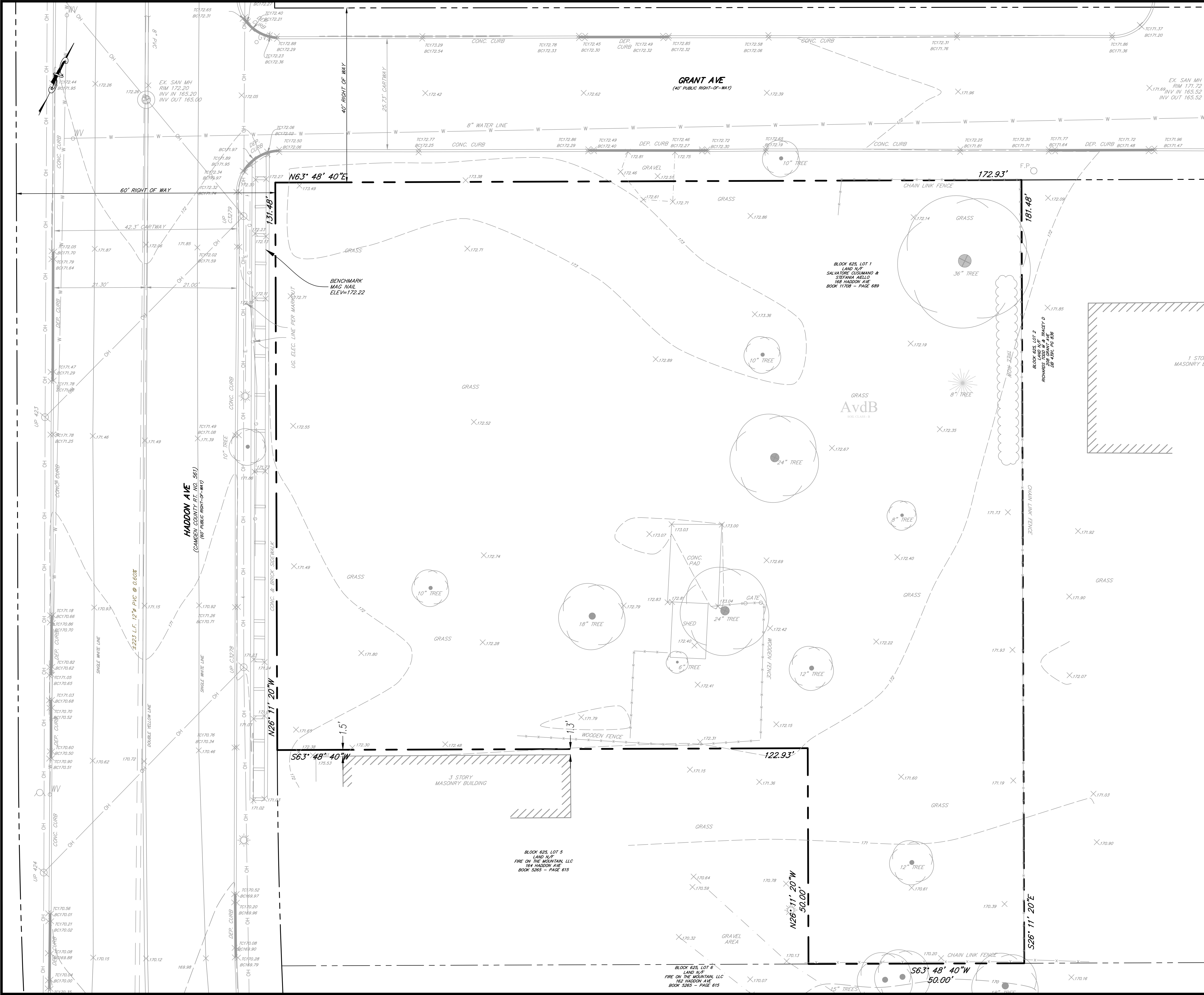
PLAN ORIGINATION DATE: 2-16-21

PLAN LAST REVISED: 8-5-21

PLAN SCALE: 1" = 10'

PROJECT NUMBER: 3824

SHEET NUMBER: 1.00 OF 16



OWNER INFORMATION			
THE SUBJECT PARCEL IS IDENTIFIED BY THE FOLLOWING INFORMATION AS RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, CAMDEN COUNTY COURTHOUSE IN CAMDEN, NEW JERSEY.			
MUNICIPALITY: BERLIN TOWNSHIP			
PARCEL NO.	PARCEL ADDRESS	DEED BOOK--PAGE	PARCEL AREA
① 0406-825-1	168 HADDON AVE	11708-689	0.58 AC.
TOTAL TRACT AREA:			0.58 AC. (BY SURVEY)
RECORD OWNER:			
SALVATORE CUSUMANO & STEFANIA AIELLO			
70 SULLIVAN WAY			
MARTON, NJ 08053			

- ### SURVEY NOTES
- BOUNDARY SURVEY SHOWN HEREIN WAS PERFORMED VALLEY LAND SERVICES, LLC DECEMBER 9, 2020 UTILIZING AVAILABLE DEEDS AND PLANS OF RECORDS.
 - EXISTING TOPOGRAPHY INFORMATION SHOWN HEREIN WAS TAKEN FROM AN ACTUAL GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON NOVEMBER 24, 2020.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND EXISTING UNRECORDED EASEMENTS MAY EXIST.
 - DATUMS:
HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATES (NEW JERSEY STATE ZONE) ESTABLISHED UTILIZING KEYNET NETWORK.
VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAV88)
BENCHMARK= MAG NAIL
ELEVATION = 172.22
 - THERE ARE NO WETLANDS OR WATERS OF THE STATE LOCATED ON THE SITE AS PER A FIELD DETERMINATION BY NATIONAL WETLANDS INVENTORY ON 12/22/2020.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT ARE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES BEFORE ANY EXCAVATION BEGINS.
 - THERE IS NO FLOODPLAIN LOCATED WITHIN THE SITE LIMITS BASED ON FEMA NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 3400700131E, EFFECTIVE 9/26/2007.

SOILS DATA


SOILS DATA OBTAINED FROM A SOIL SURVEY OF CAMDEN COUNTY, NEW JERSEY, ISSUED JUNE 1, 2020.

ANNE--AURA-DOWNLOX LOAMY SANDS, 0-5% SLOPE. LIMITATIONS -- HIGH CORROSION OF CONCRETE, DEPTH TO THIN CEMENTED PAN

RESOLUTIONS:
CORROSION OF CONCRETE -- CONCRETE MAY NEED TO BE WRAPPED IN CORROSION RESISTANT MATERIAL.
DEPTH TO THIN CEMENTED PAN -- HEAVY EXCAVATION EQUIPMENT MAY BE REQUIRED.

NO KNOWN GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT MAY CAUSE POLLUTION EXIST ON SITE.

LEGEND	
	TRACT BOUNDARY
	EXISTING RIGHT-OF-WAY
	ADJOINING PROPERTY LINE
	EXISTING WATER LINE/SERVICE
	EXISTING STORM SEWER LINE/INLET
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE (UNDERGROUND)
	EXISTING ELECTRIC LINE (OVERHEAD)
	EXISTING SANITARY SEWER LINE/MANHOLE
	EXISTING CURB
	EXISTING DRIVEWAY
	EXISTING ROAD CENTERLINE
	EXISTING FENCE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	SOILS DELINEATION LINE
	STREAM CHANNEL
	FEMA DELINEATED FLOODPLAIN
	EXISTING BUILDINGS
	EXISTING DECIDUOUS
	EXISTING EVERGREEN
	EXISTING LIGHT POST
	EXISTING SIGN
	EXISTING STREET SIGN
	EXISTING UTILITY-POLE
	EXISTING WELL
	BOUNDARY CORNER
	MONUMENT



THE UNDERGROUND FACILITY PROTECTION ACT
SITE SERIAL NO. 203232600

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM. 1-800-272-1000, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

ENGINEERS CERTIFICATION

24520505900

JOSHUA D. HOAGLAND

EXISTING FEATURES PLAN
PREPARED AS PART OF THE

MY ANGELO'S PIZZA LD

SALVATORE CUSUMANO

SITE SITUATION
BERLIN TOWNSHIP, CAMDEN COUNTY, NEW JERSEY

PROJECT MANAGER
JH

DRAWING FILE NAME
XFPL

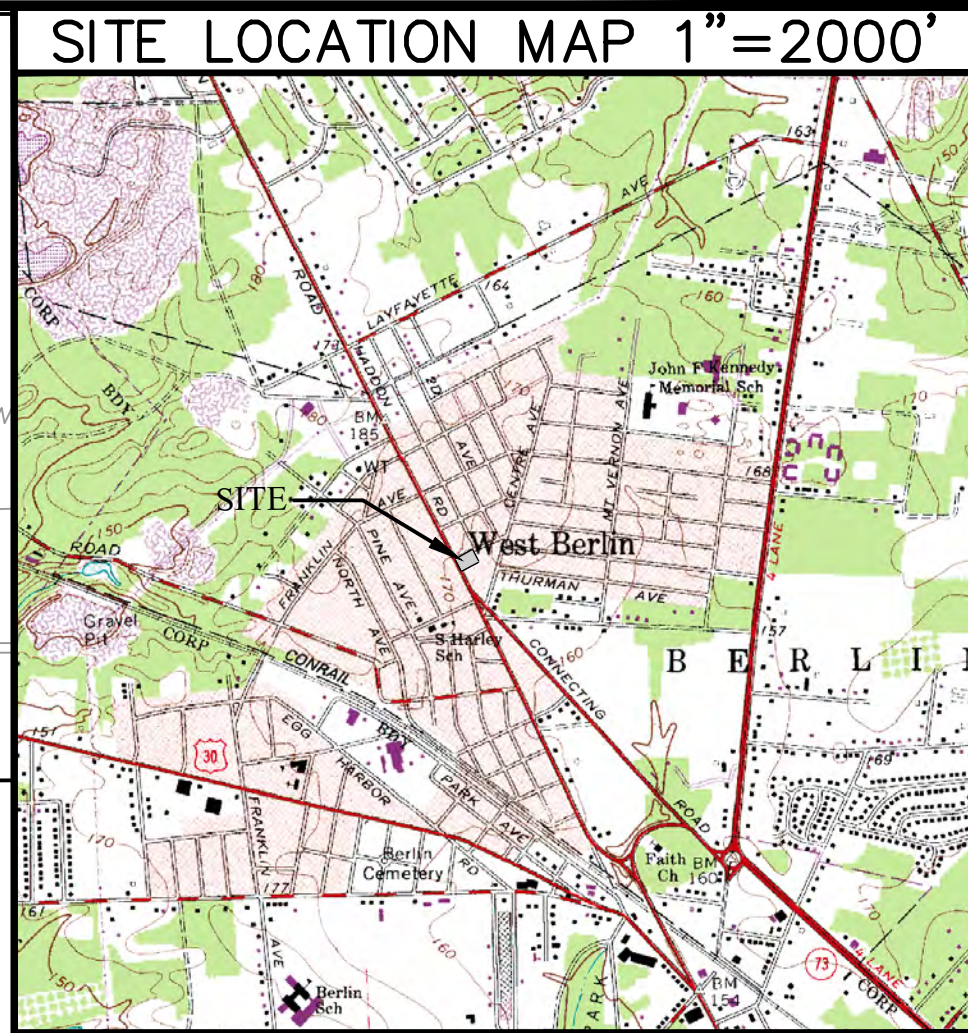
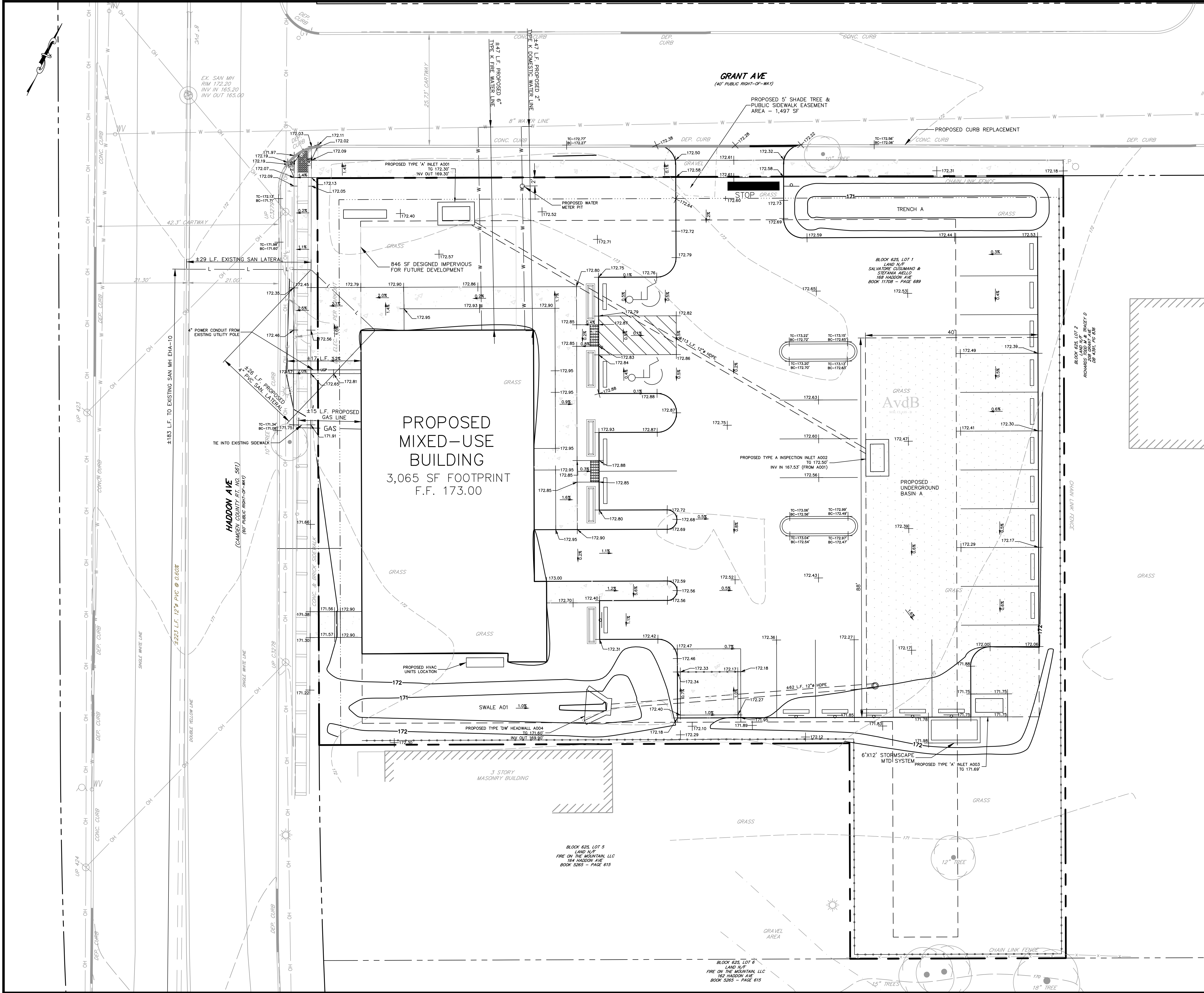
PLAN ORIGIN DATE
2-16-21

PLAN LAST REVISED
8-5-21

PLAN SCALE
1" = 10'

PROJECT NUMBER
3824

SHEET NUMBER
1.01 OF 16



CONSTRUCTION NOTES

- STORM SEWER**
- UNLESS OTHERWISE NOTED, ALL STORM SEWER INLETS SHALL BE EITHER NJDOT TYPE "A" OR TYPE "B" AND SHALL CONFORM TO NJDOT STANDARDS AND SPECIFICATIONS.
 - UNLESS OTHERWISE NOTED, ALL STORM SEWER PIPING SHALL BE HDPE PIPE AND SHALL CONFORM TO NJDOT STANDARDS AND SPECIFICATIONS.
 - UNLESS OTHERWISE NOTED, ALL CONCRETE "TOW" ENWALLS SHALL CONFORM TO NJDOT STANDARDS AND SPECIFICATIONS. THE TOP OF WALL ELEVATION FOR ALL ENWALLS SHALL CONFORM TO THESE STANDARDS FOR THE ASSOCIATED PIPE SIZE. IN THE EVENT THAT A HIGHER TOP OF WALL ELEVATION IS NECESSARY FOR GRADING, THE "SPECIAL" TOP OF WALL ELEVATION SHALL BE NOTED ON THE PLANS.
 - THE TOP OF GRATE ELEVATION FOR ALL CURBSIDE STORM SEWER INLETS IS FOR THE CENTER OF THE INLET AT THE FACE OF CURB. THE CONTRACTOR SHALL PROJECT THE ROADWAY GRADE ALONG THE LENGTH OF THE INLET.
 - ALL STORM SEWER LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE SLOPES ARE CALCULATED BASED ON THIS LENGTH.
 - ALL LOTS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE AWAY FROM HOUSES TO THE NEAREST INLET OR WATERCOURSE WITHOUT POONDING OR OBSTRUCTION. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED ON ALL GRASSED AREAS.
- GENERAL CONSTRUCTION:**
- THIS PLAN CONTAINS PRELIMINARY INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY. AND MAY NOT BE BASED ON AN ACTUAL SUBSURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THESE PLANS NEEDS TO BE VERIFIED BY THE PLAN USER. THE PREPARER OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATION OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES. THE PLAN USER SHALL EXECUTE A NJ ONE CALL PRIOR TO ANY EXCAVATION ON THE SITE.
 - A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED AT ALL UTILITY CROSSINGS WHERE 18 INCHES OF CLEARANCE CAN NOT BE OBTAINED. THE LOWER UTILITY LINE SHALL BE CONCRETE ENCASED FOR A LENGTH OF 20 FEET, CENTERED ABOUT THE CROSSING.
 - ALL CONSTRUCTION SHALL CONFORM TO BERLIN TOWNSHIP STANDARDS AND SPECIFICATIONS OR NJDOT STANDARDS AND SPECIFICATIONS, WHICHEVER IS APPLICABLE.
 - GAS, ELECTRIC AND CABLE TELEVISION FACILITIES FOR THE BUILDING SHALL BE PROVIDED BY UNDERGROUND SERVICE.
 - HANDICAPPED RAMPS SHALL BE LOCATED AT ALL INTERSECTIONS OR WHERE OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS LATEST AMENDED.
 - TOPSOIL SHOULD BE REMOVED FROM ALL AREAS OF CONSTRUCTION AND STORED SEPARATELY, PRIOR TO BULK EXCAVATION. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHOULD BE REDISTRIBUTED ON THE SITE UNIFORMLY.
 - NO PLANTINGS OR STRUCTURES SHALL BE PERMITTED WITHIN ANY EASEMENTS. ALL EASEMENT AREAS SHALL BE MAINTAINED AS LAWN AREA BY THE PROPERTY OWNER.
 - ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSURE THAT ALL TRENCH EXCAVATIONS BE IMMEDIATELY STABILIZED AND ACCESSIBLE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS, INCLUDING ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS / CODES OF SAFE PRACTICE AND PROCEDURES.
 - CONTRACTOR SHALL PRE-TEST DESIGN DEPTHS FOR ALL BMP'S PRIOR TO INSTALLING RELATED STRUCTURES OR PERFORMING BULK EXCAVATION (REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR ALL BMP AND ASSOCIATED STRUCTURE LOCATIONS). MINOR ADJUSTMENTS MAY BE NECESSARY DURING CONSTRUCTION DUE TO UNKNOWN SITE CONDITIONS. IF NECESSARY, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY FOR FURTHER EVALUATION. ALL FIELD CHANGES MUST BE REVIEWED AND APPROVED BY THE MUNICIPALITY AND/OR AGENCY HAVING JURISDICTION.
 - ALL MATERIALS AND DEBRIS FROM DEMOLITION ACTIVITY SHALL BE HAULED OFFSITE TO AN APPROVED LANDFILL. ALL RELATED APPROVALS AND HAULING PERMITS SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. NO DEBRIS SHALL BE GENERATOR, BURIED OR DISPOSED OF ON SITE.
 - ANY SPRINGS/GROUND WATER ENCOUNTERED DURING ROADWAY/PARKING LOT CONSTRUCTION SHALL BE GULLETED BY U-DRAIN TO THE NEAREST STORM SEWER FACILITY OR WATERCOURSE. U-DRAIN PLACEMENT MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP/BOROUGH PRIOR TO INSTALLATION AND/OR AS DIRECTED BY THE TOWNSHIP/BOROUGH ENGINEER OR ASSIGNED REPRESENTATIVE.
 - A DWELLING UNIT WAS PREVIOUSLY LOCATED ON THE PROPERTY IN QUESTION AS RECENT AS 2006. EXISTING BURIED DEBRIS AND REMNANTS MAY STILL BE PRESENT ON SITE.

ESTIMATED DAILY SEWER FLOW

OBTAINED FROM NJPDES RULES N.J.A.C. 7:14A-23		
TYPE OF ESTABLISHMENT	MEASUREMENT UNIT	GALLONS PER DAY (GPD)
AVERAGE RESTAURANTS	35 GPD/SEAT (31 SEATS PROPOSED)	1,085
RESIDENTIAL DWELLING-APARTMENTS (1 BEDROOM UNIT)	150 GPD/DWELLING	150
RESIDENTIAL DWELLING-APARTMENTS (2 BEDROOM UNIT)	225 GPD/DWELLING	550
ESTIMATED FLOW GENERATED: 1,685 GPD (1.17 GPM)		
FLOW CAPACITY OF A 4 INCH PVC AT 0.5% SLOPE: 25 GPM		

ENGINEERS CERTIFICATION

ENGINEER: JOSHUA D. HOAGLAND
24520505900

PROJECT MANAGER: JH

DRAWING FILE NAME: ZCI-STORM

PLAN ORIGINATION DATE: 2-16-21

PLAN LAST REVISED: 8-5-21

PLAN SCALE: 1" = 10'

PROJECT NUMBER: 3824

SHEET NUMBER: 1.02 OF 16

GRADING AND UTILITIES PLAN

PREPARED AS PART OF THE

MY ANGELO'S PIZZA LD

SALVATORE CUSUMANO

BTE SITE PLAN

BERLIN TOWNSHIP, CAMDEN COUNTY, NEW JERSEY

THE CROSSROADS GROUP, LLC

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760 Shaw Street

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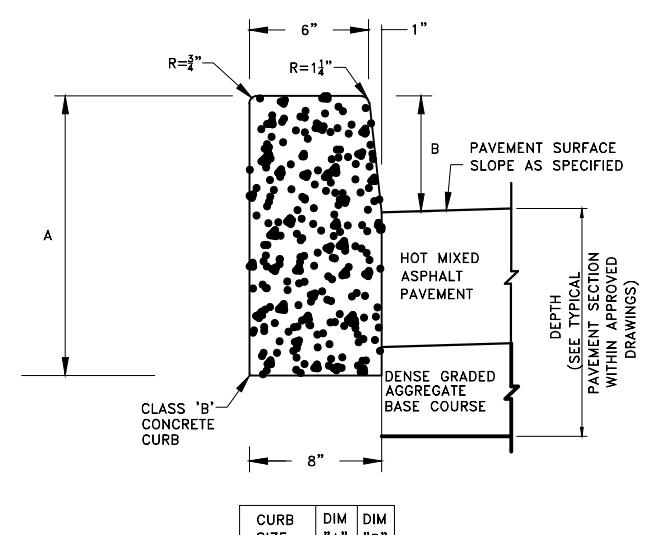
Fax: 484-660-3742

EMAIL: info@thecrossroadsgrp.com

PHONE: 484-660-3742

PHONE: 484-660-3742

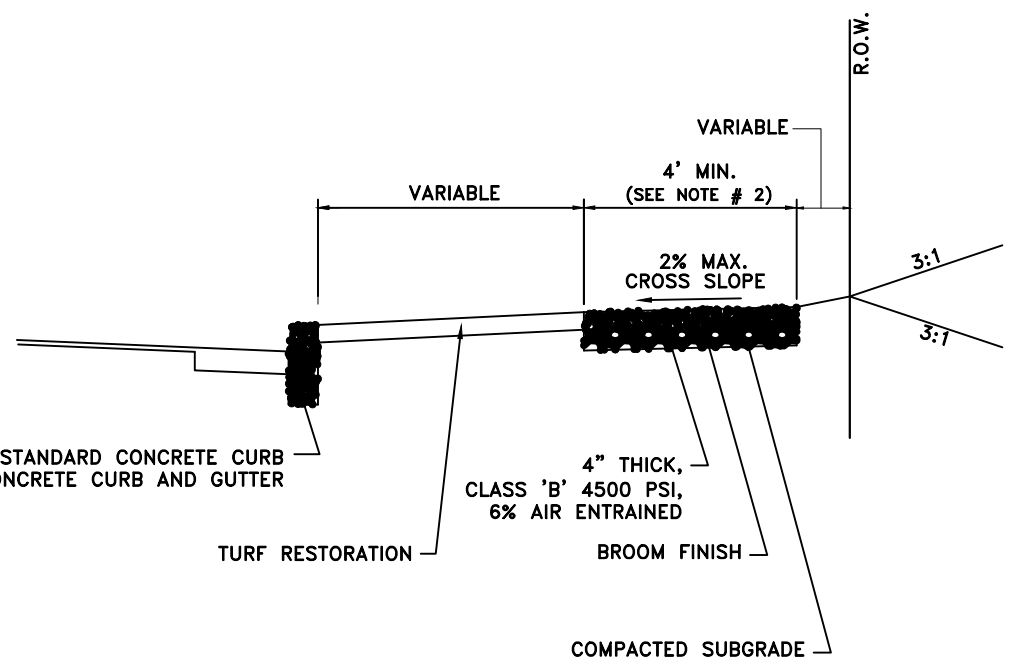
PHONE: 484-660-3742



NOTES:

1. EXPANSION JOINTS 1" WIDE IN THE CURB SHALL BE PROVIDED AT APPROXIMATELY EQUAL DISTANCES OF NOT MORE THAN 20' BETWEEN THE JOINTS.
2. THE COST OF EXPANSION JOINTS IN THE CURB AND DENSE GRADED AGGREGATE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CURB.
3. CONCRETE SHALL BE CLASS B WITH 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI, AND 6% ±1.5 AIR ENTRAINMENT.

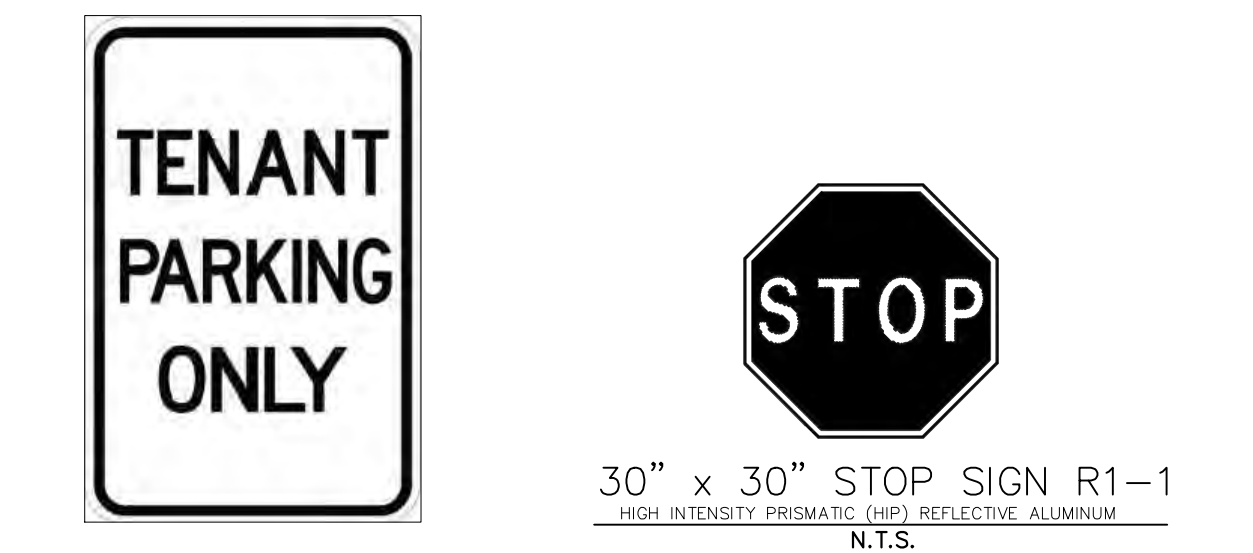
DETAIL 1 STANDARD 6"x18" CONCRETE VERTICAL CURB DETAIL
N.T.S.



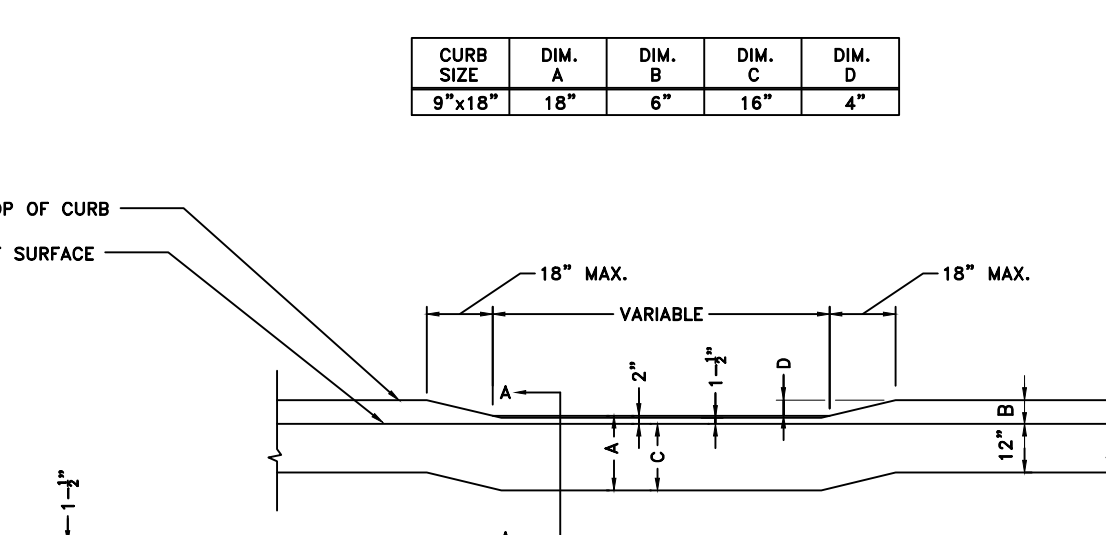
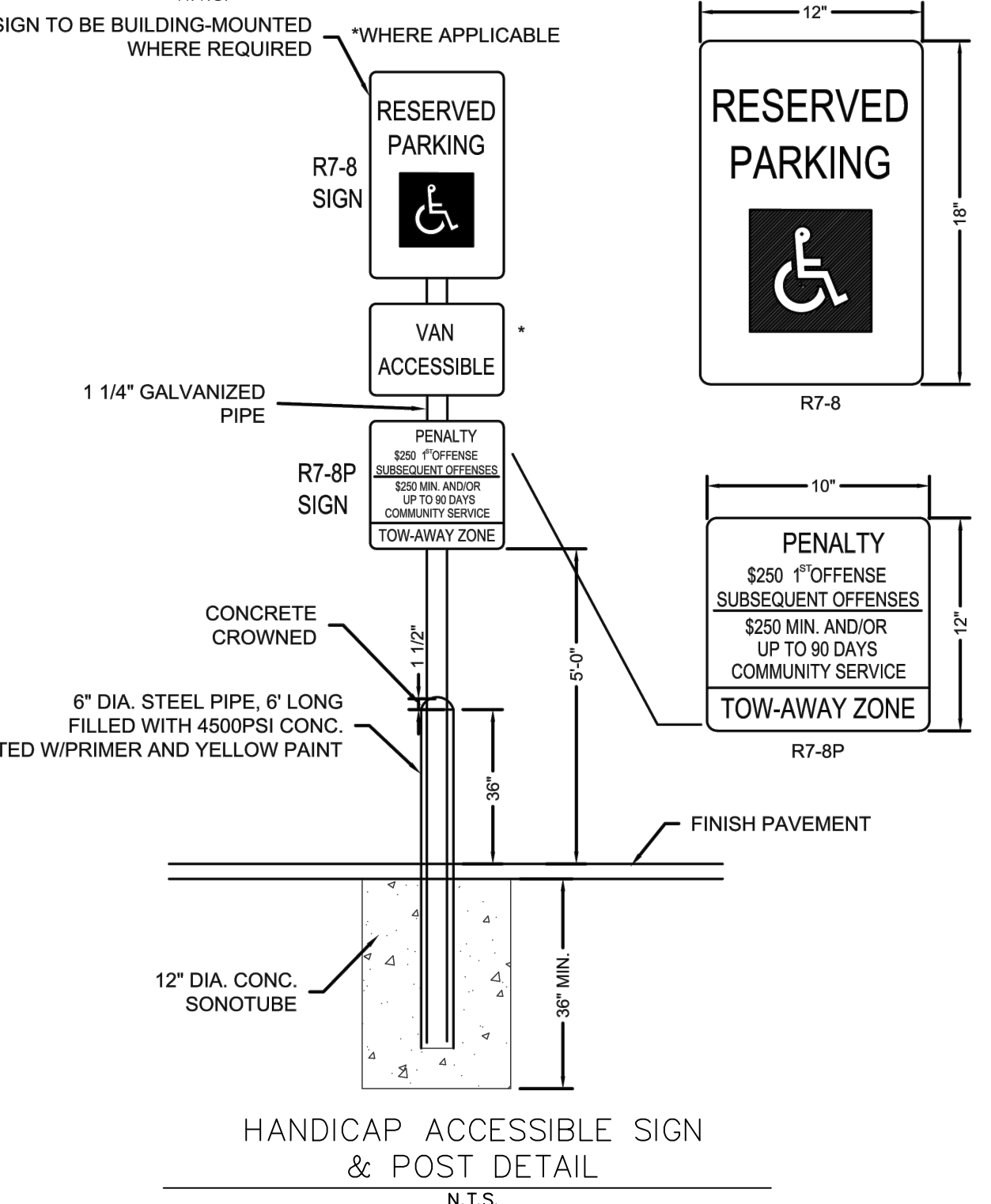
NOTES:

1. TURF RESTORATION TO CONSIST OF A MINIMUM OF 4" OF SELECT TOPSOIL, FERTILIZER AND SEED AS PER SPECIFICATIONS.
2. IF SUBGRADE MATERIAL IS UNSUITABLE, CONTRACTOR TO REMOVE PER TOWNSHIP ENGINEER'S DISCRETION AND REPLACE WITH SELECT FILL AT NO EXTRA COST TO THE TOWNSHIP.
3. SIDEWALK WIDTH SHALL BE 4'-0" MINIMUM UNLESS OTHERWISE NOTED ON THE APPROVED PLANS.
4. CONCRETE SHALL BE CLASS B WITH 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI AND 6% ±1.5% AIR ENTRAINMENT.
5. SIDEWALK THICKNESS SHALL BE 6" ACROSS PROPOSED DRIVEWAYS.

DETAIL 5 STANDARD CONCRETE SIDEWALK
N.T.S.



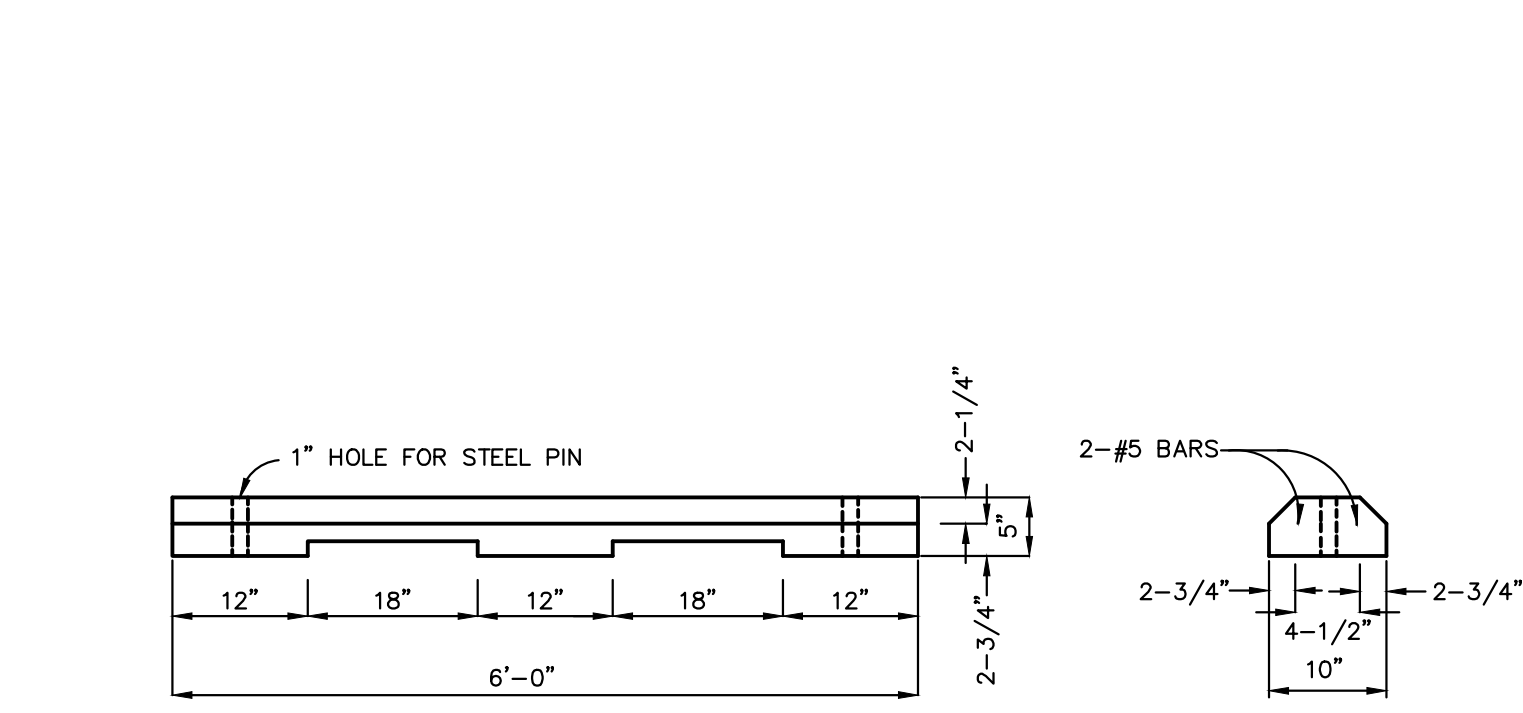
12"x18" AR-138 TENANT PARKING ONLY SIGN
N.T.S.



NOTES:

1. CONCRETE SHALL BE CLASS B WITH 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI, AND 6% ±1.5 AIR ENTRAINMENT.

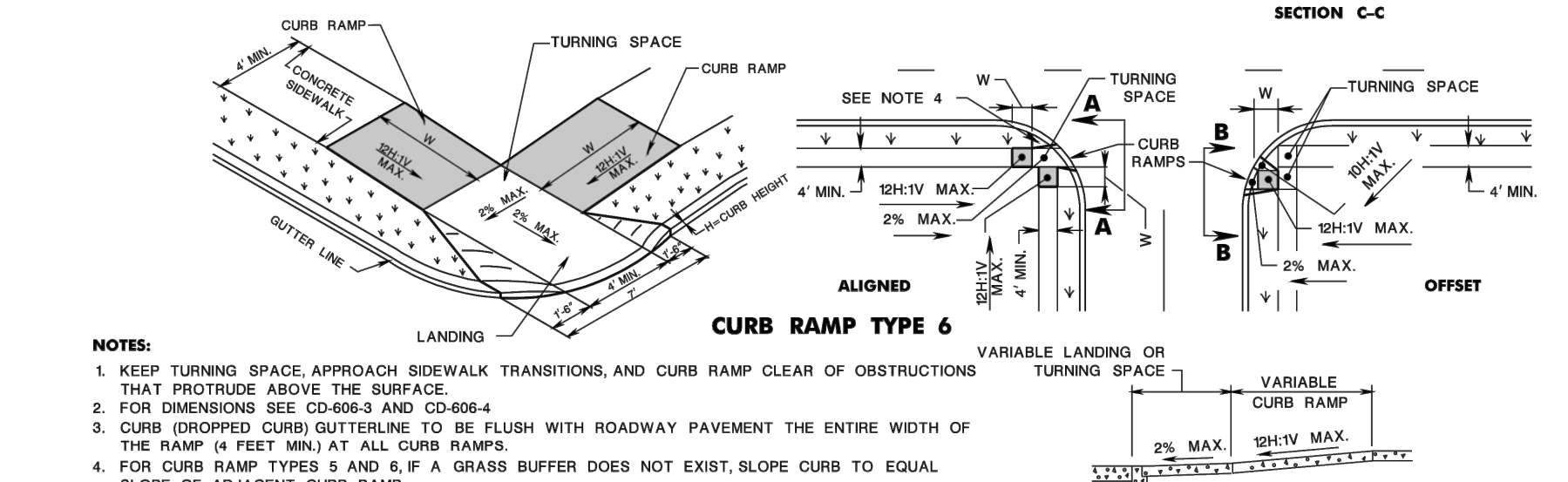
DETAIL 3 STANDARD DEPRESSED CONCRETE CURB DETAIL
N.T.S.



NOTES:

1. MIN. 3500 PSI AIR ENTRAINED CONCRETE
2. STEEL ANCHOR RODS SHALL BE 24" LONG & 3/4" DIA.
3. RODS SHALL BE FLARED AND DRIVEN TO TOP OF STOP.

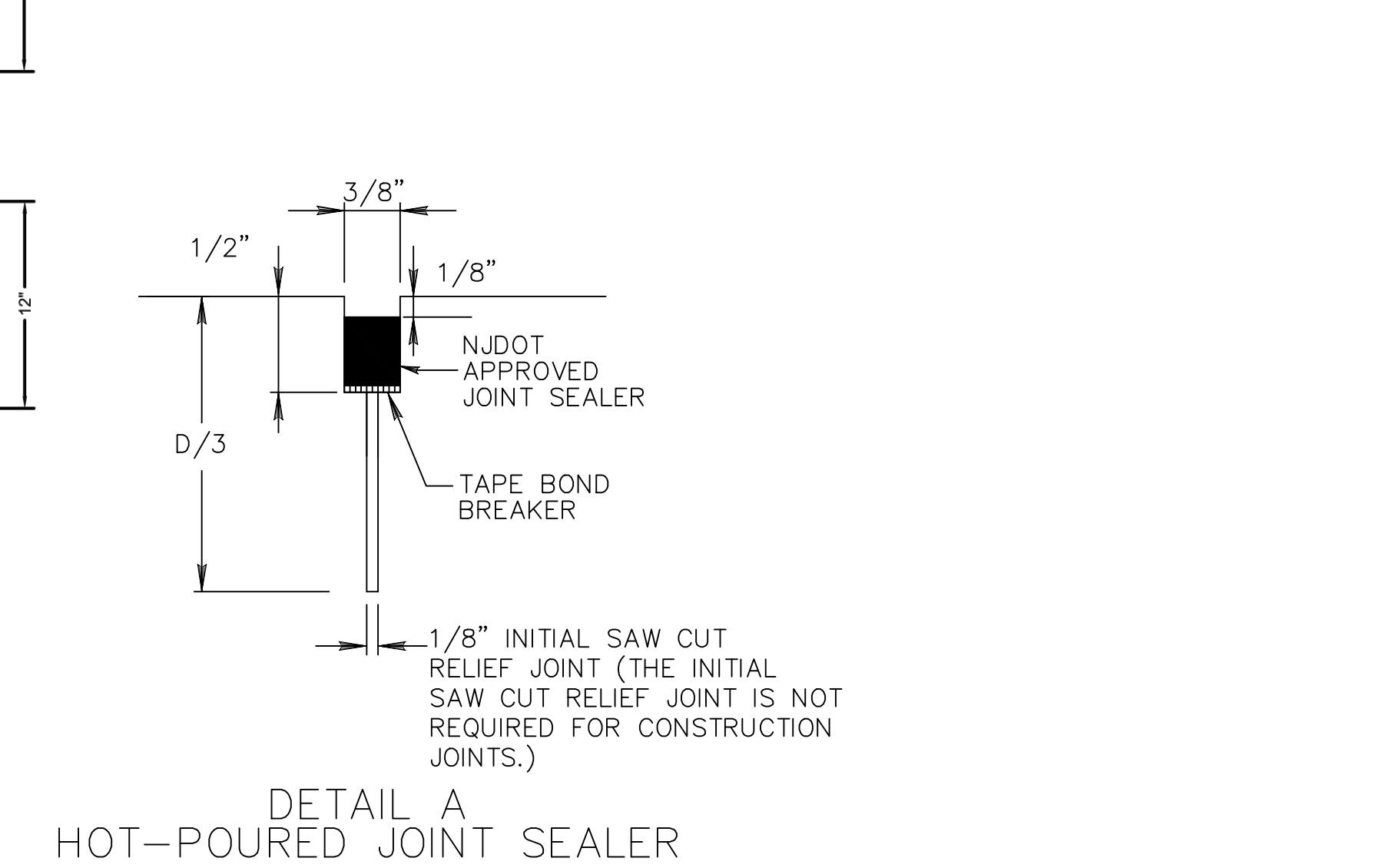
PRECAST CONCRETE PARKING BUMPER STOP
N.T.S.



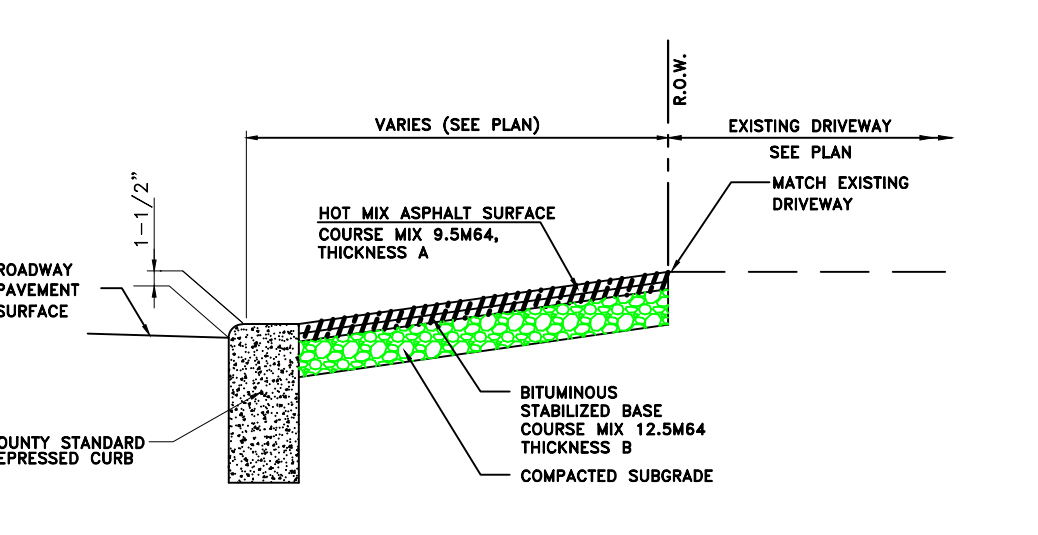
NOTES:

1. KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
2. FOR DIMENSIONS SEE CD-606.3 AND CD-606.4
3. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT THE ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMP.
4. FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
5. SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
6. CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
7. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, USE CURB RAMP TYPE 7, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
8. CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
9. THE 12H1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMP, BUT ONLY THE 12H1V SLOPE MEASURED AS X₂ IS THE RUNNING SLOPE FOR TYPE 3 AND TYPE 4 CURB RAMP. ENSURE THE RUNNING SLOPE OF CURB RAMP DOES NOT REQUIRE ITS LENGTH TO EXCEED 16 FEET. THE RUNNING SLOPE MAY EXCEED THE 12H1V MAX SLOPE SO AS NOT TO EXCEED THE 16 FEET MAXIMUM LENGTH.
10. CURB RAMP TYPE 1 THROUGH 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.

SECTION THROUGH CURB RAMPS 5 AND 6
N.T.S.



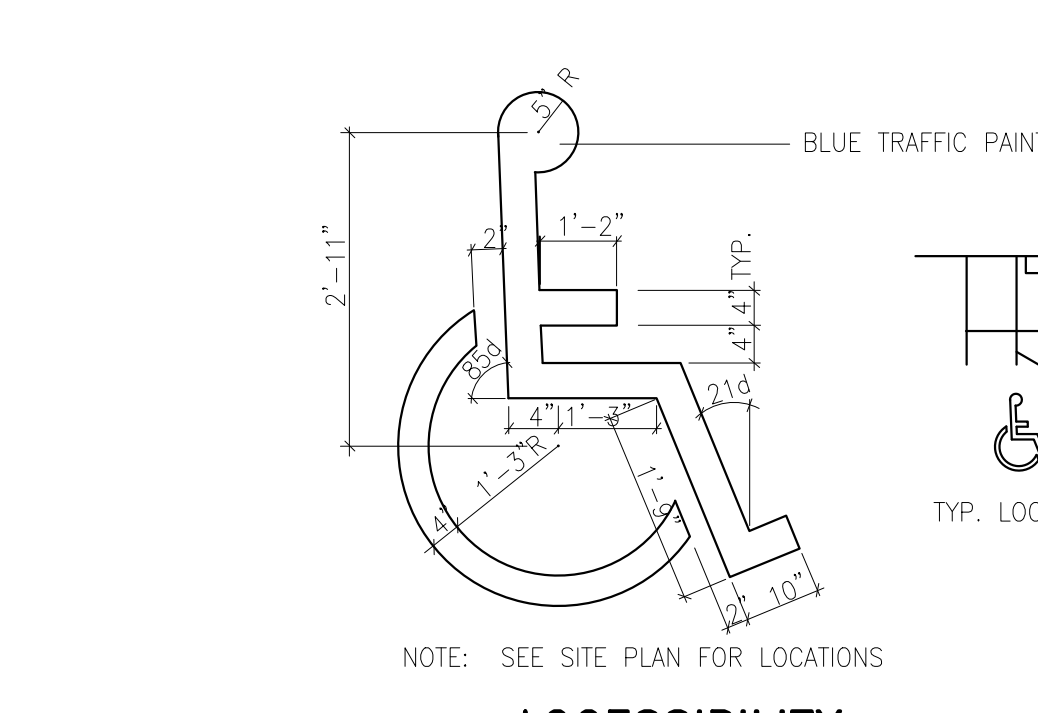
DETAIL A HOT-POURED JOINT SEALER
N.T.S.



NOTES:

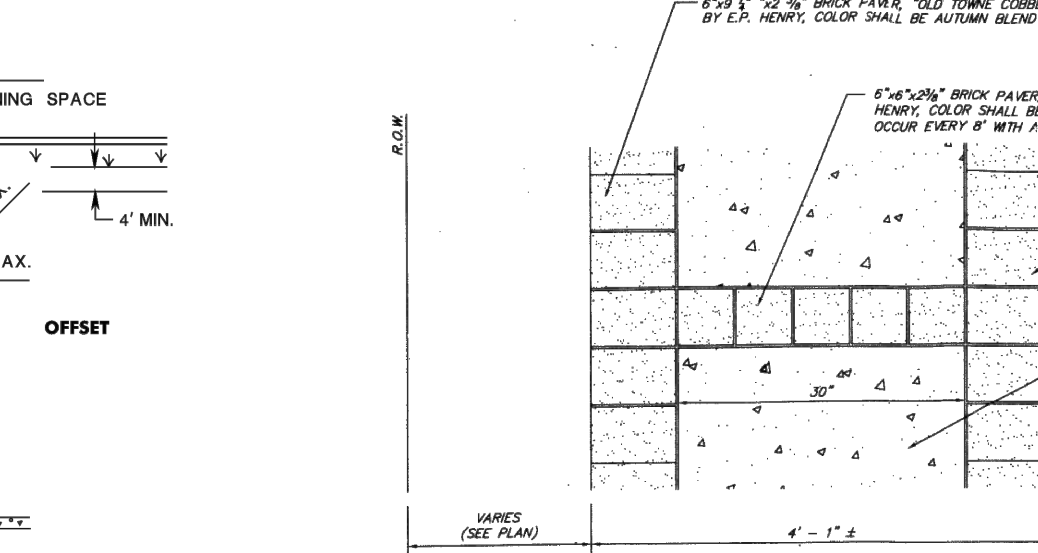
1. THE DRIVEWAY IN THE COUNTY RIGHT-OF-WAY SHALL BE COMPOSED OF TOP COURSE AND BASE COURSE WITH A TOTAL THICKNESS OF 4 INCHES (SEE TABLE).
2. CURB JOINT SHALL BE TROWELED WITH A MIN 1/2" RADIUS ALONG BACK OF CURB. COUNTY RIGHT-OF-WAY.
3. A DRIVEWAY APRON MAY NOT IMPED THE FLOW OF STORMWATER.
4. A ROAD OPENING PERMIT IS REQUIRED BEFORE START OF CONSTRUCTION IN THE COUNTY RIGHT-OF-WAY.

DETAIL 7 STANDARD BITUMINOUS DRIVEWAY APRON TYPE 1
N.T.S.

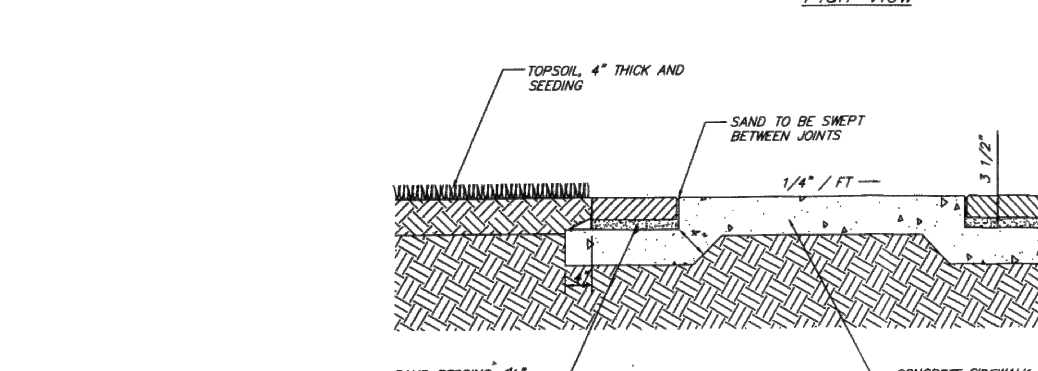


NOTE: SEE SITE PLAN FOR LOCATIONS

ACCESSIBILITY HANDICAP SYMBOL FOR PARKING
N.T.S.



SECTION C-C CURB RAMP TYPE 6
N.T.S.

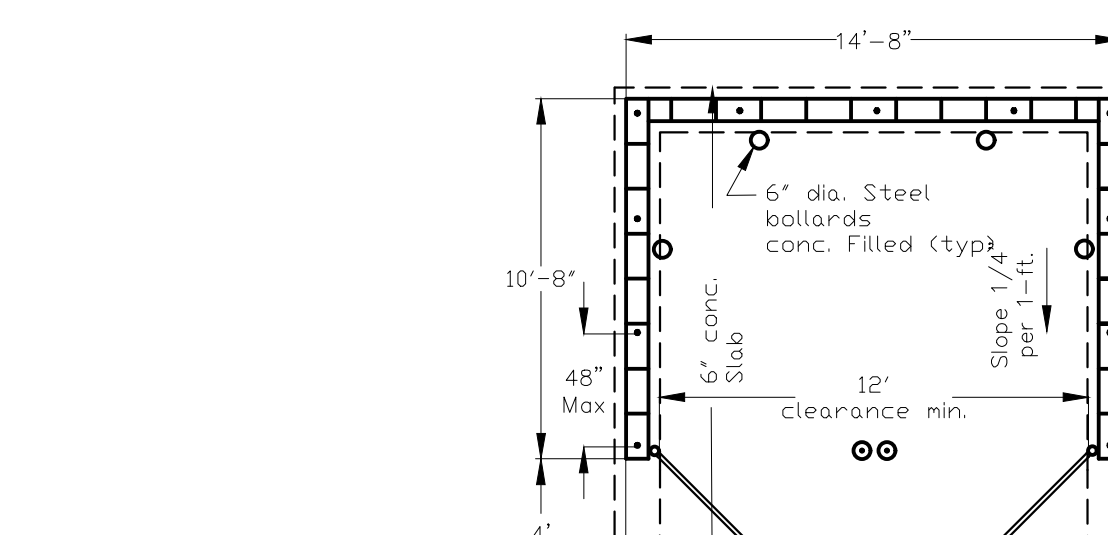


SECTION A-A CURB RAMP TYPE 6
N.T.S.



NOTES:

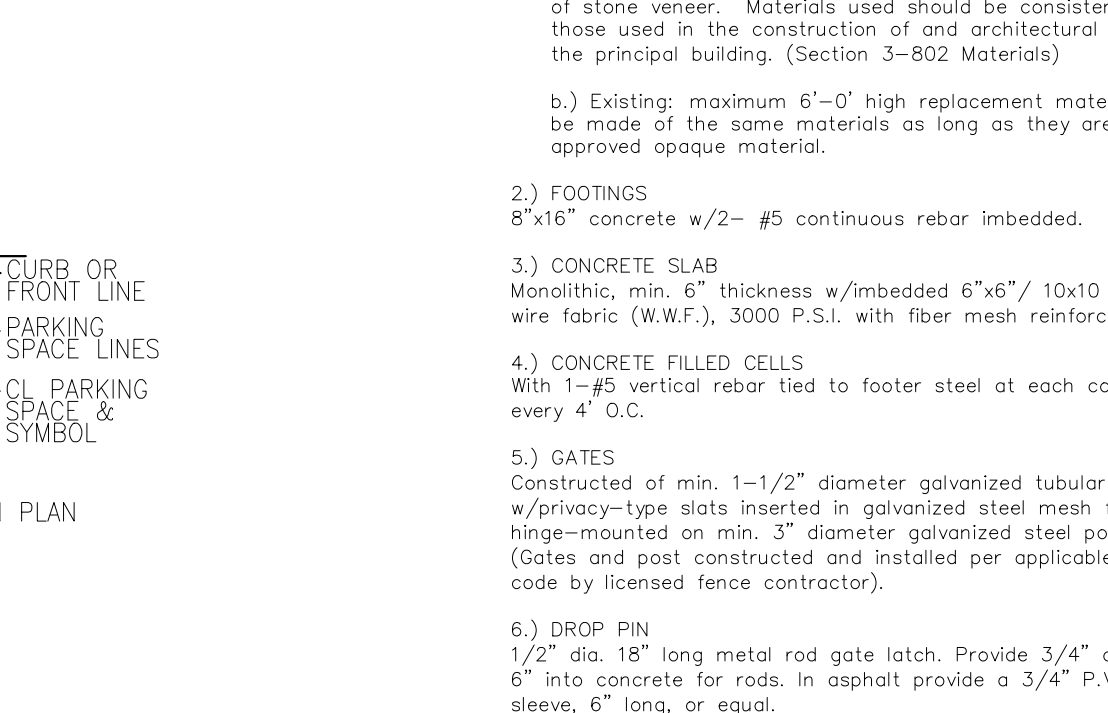
1. SEE CONSTRUCTION PLANS FOR LOCATIONS WHERE PAVEMENT RESTORATION ADJACENT TO CURB IS GREATER THAN 2' MINIMUM



NOTES:

1. WALLS
- a.) New construction: maximum 6'-0" high and constructed of stone veneer. Materials used should be consistent with those used in the construction of and architectural style of the principal building. (Section 3-802 Materials)
- b.) Existing: maximum 6'-0" high replacement materials can be made of the same materials as long as they are made of approved opaque material.
- 2.) FOOTINGS
- 8"x16" concrete w/2- #5 continuous rebar imbedded.
- 3.) CONCRETE SLAB
- Monolithic, min. 6" thickness w/imbedded 6"x6"/ 10x10 welded wire fabric (W.W.F.), 3000 P.S.I. with fiber mesh reinforcing.
- 4.) CONCRETE FILLED CELLS
- With 1-#5 vertical rebar tied to footer steel at each corner and every 4' O.C.
- 5.) GATES
- Constructed of min. 1-1/2" diameter galvanized tubular steel w/privacy-type slats inserted in galvanized steel mesh fabric, hinge-mounted on min. 3" diameter galvanized steel post. (Gates and post constructed and installed per applicable building code by licensed fence contractor).
- 6.) DROP PIN
- 1/2" dia. 18" long metal rod gate latch. Provide 3/4" dia. hole 6" into concrete for rods. In asphalt provide a 3/4" P.V.C. sleeve, 6" long, or equal.
- 7.) SOIL
- Soil bearing capacity to be at least 2,500 P.S.F.
- 8.) BOLLARD
- 3'-6" high, 6" diameter steel pipe bollard filled with concrete, painted traffic yellow, imbedded 3'-0" deep in 18" concrete foundation. (See Detail)

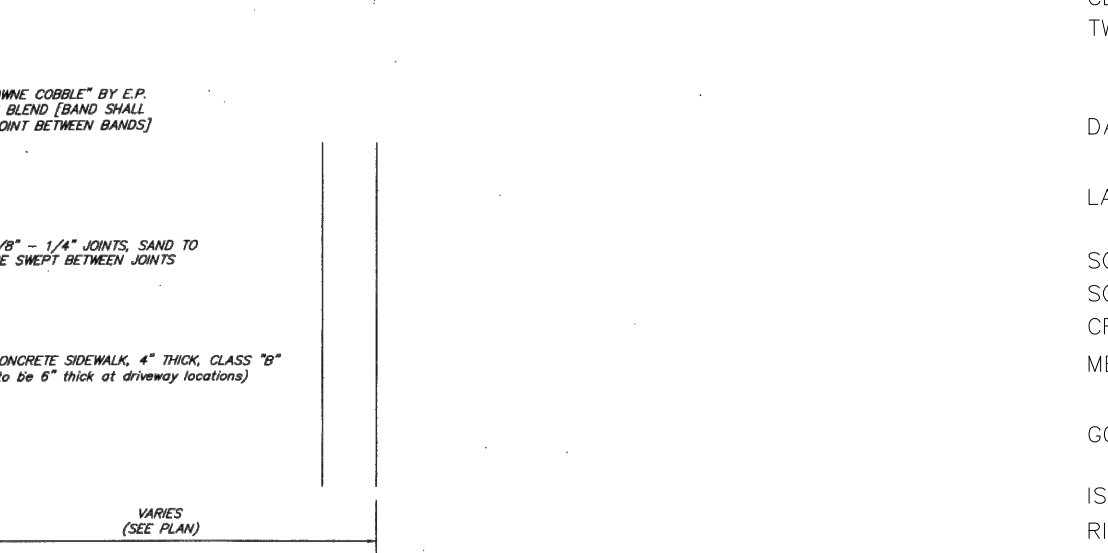
CONCRETE MASONRY WALL CONSTRUCTION
N.T.S.



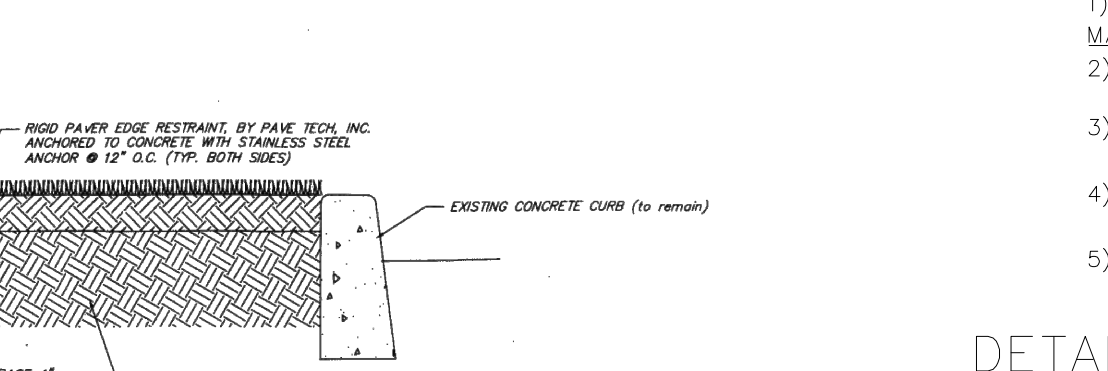
NOTES:

1. All reinforcing steel shall be deformed bars conforming to ASTM A-615, Grade 60. Vertical reinforcement shall be placed in the center of the masonry cell, and shall be held in position at the top and bottom.
2. If a slab dowel does not line-up with a vertical core, it shall not be sloped more than one horizontal in six verticals (1:6).
3. Horizontal wall reinforcement shall be standard truss type DUR-O-WALL (or equivalent) at 16' o.c.
4. Hollow Load-bearing Concrete Masonry Units shall be normal weight conforming to ASTM C-90, with a minimum compressive strength of 1,900 PSI.
5. Mortar shall be type M or S, in accordance with ASTM C-270. Place all masonry in running bond with 3/8" mortar joints. Provide complete coverage face shell mortar bedding, horizontal and vertical.
6. Coarse grout shall conform to ASTM C-476, with a maximum aggregate size of 3/8", 8" to 10" slump, and a minimum compressive strength of 2,500 PSI at 28 days.
7. Minimum 3" X 3" clean-out holes (saw-cut) are required at the bottom course of all cells to verify grout placement. Clean-outs shall be sealed after masonry inspection-provided in accordance with ACI 531-4-6, and before grouting.
8. Prior to grouting, the grout space shall be clean, with no mortar projections greater the 1/2" mortar droppings or other foreign material. All cells shall be in vertical alignment, and shall solidly be filled with coarse grout as specified.
9. During placing, grout shall be consolidated with flexible cable vibrator. First grout pour shall be stopped a minimum of 1 - 1/2" below the top of the middle bond beam masonry.

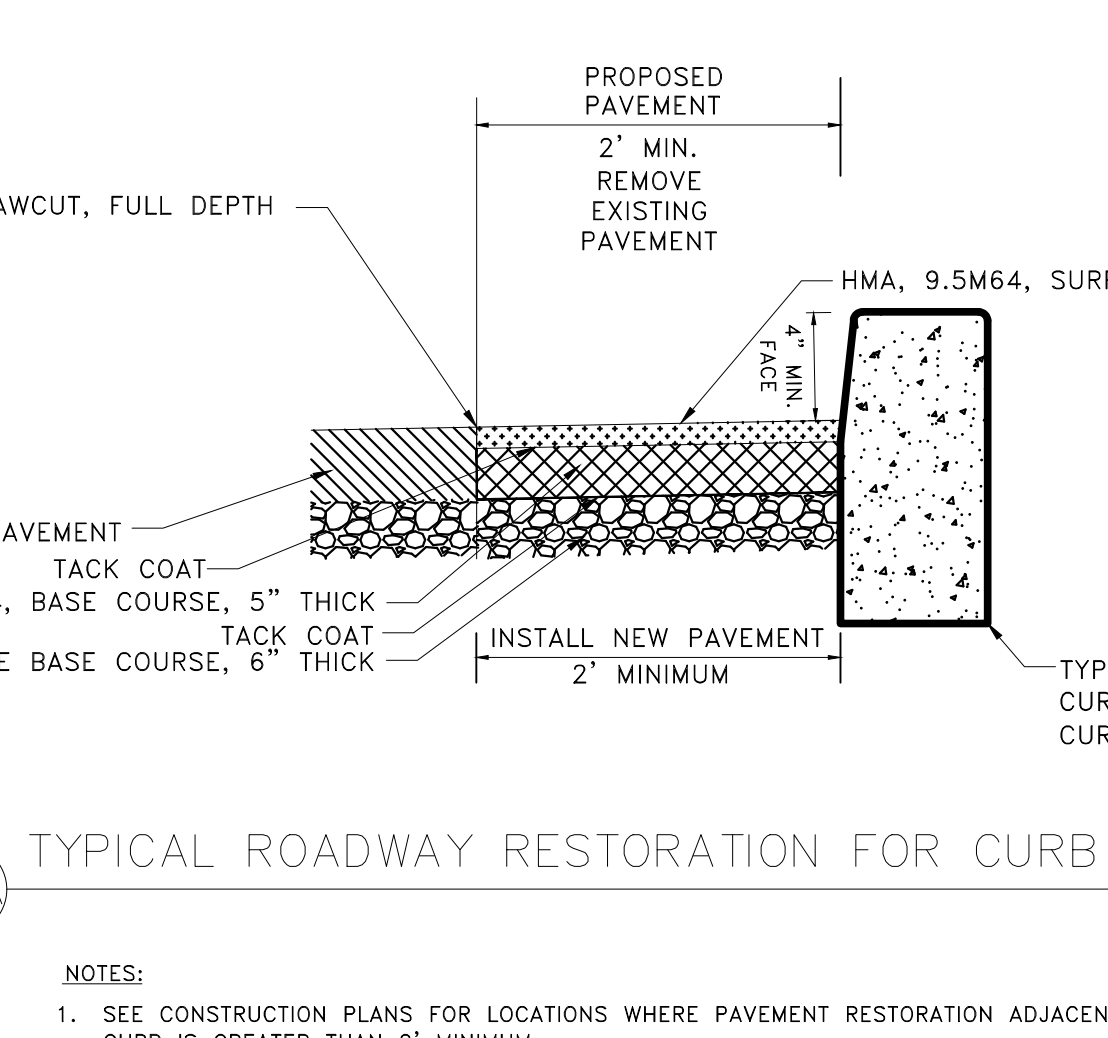
PAVEMENT MARKING LEGEND
N.T.S.



PAVEMENT MARKING LEGEND
N.T.S.

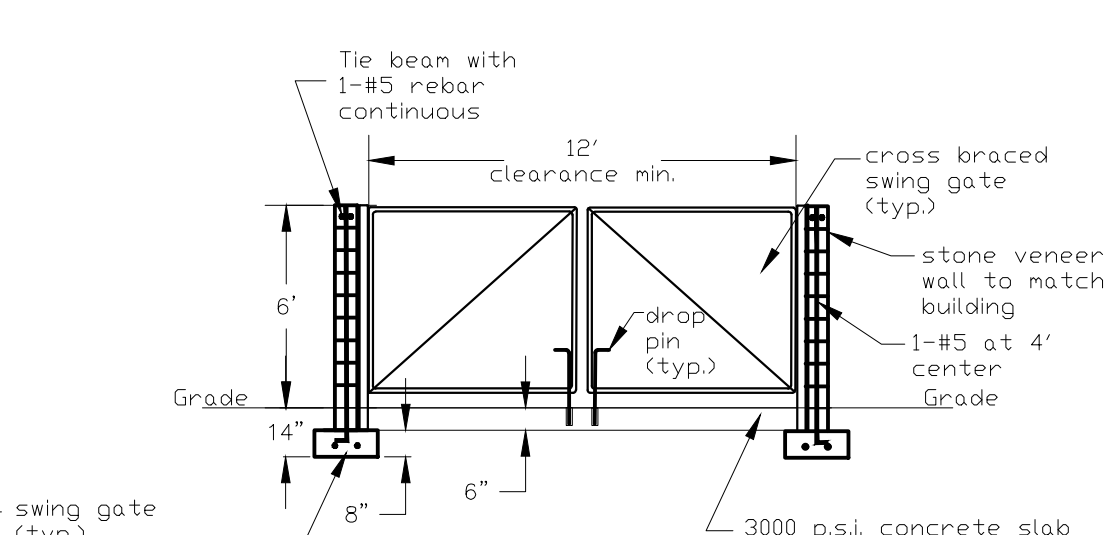


DETAIL 10 STANDARD PAVEMENT MARKING LEGEND
N.T.S.



NOTES:

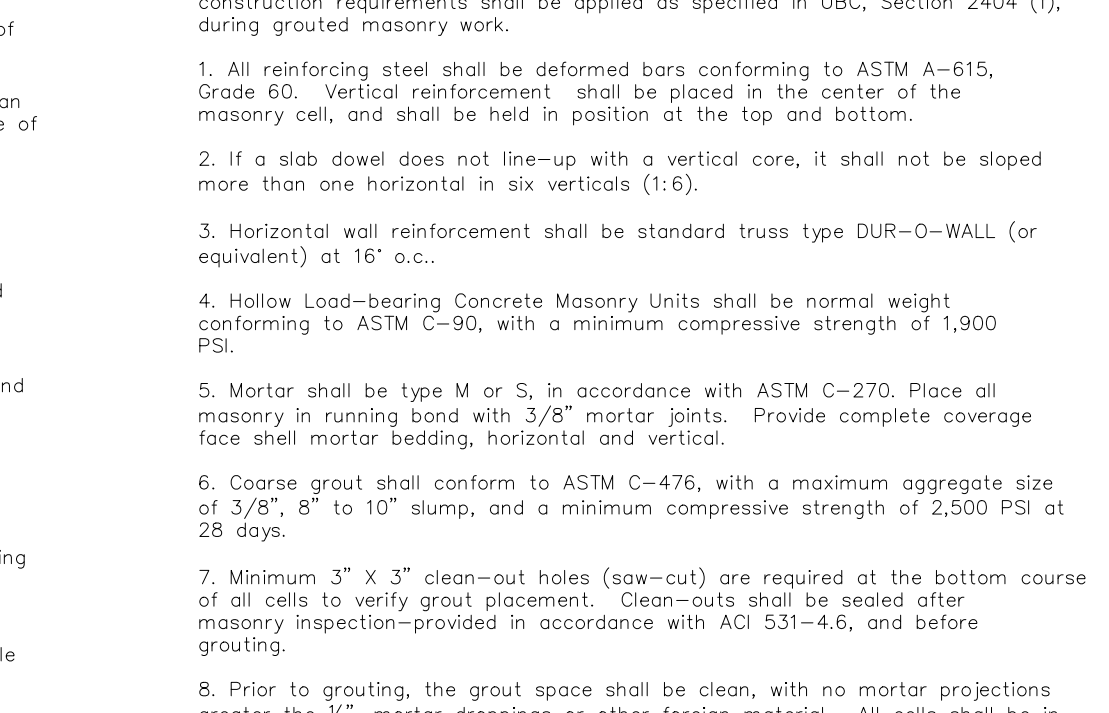
1. SEE CONSTRUCTION PLANS FOR LOCATIONS WHERE PAVEMENT RESTORATION ADJACENT TO CURB IS GREATER THAN 2' MINIMUM



NOTES:

1. WALLS
- a.) New construction: maximum 6'-0" high and constructed of stone veneer. Materials used should be consistent with those used in the construction of and architectural style of the principal building. (Section 3-802 Materials)
- b.) Existing: maximum 6'-0" high replacement materials can be made of the same materials as long as they are made of approved opaque material.
- 2.) FOOTINGS
- 8"x16" concrete w/2- #5 continuous rebar imbedded.
- 3.) CONCRETE SLAB
- Monolithic, min. 6" thickness w/imbedded 6"x6"/ 10x10 welded wire fabric (W.W.F.), 3000 P.S.I. with fiber mesh reinforcing.
- 4.) CONCRETE FILLED CELLS
- With 1-#5 vertical rebar tied to footer steel at each corner and every 4' O.C.
- 5.) GATES
- Constructed of min. 1-1/2" diameter galvanized tubular steel w/privacy-type slats inserted in galvanized steel mesh fabric, hinge-mounted on min. 3" diameter galvanized steel post. (Gates and post constructed and installed per applicable building code by licensed fence contractor).
- 6.) DROP PIN
- 1/2" dia. 18" long metal rod gate latch. Provide 3/4" dia. hole 6" into concrete for rods. In asphalt provide a 3/4" P.V.C. sleeve, 6" long, or equal.
- 7.) SOIL
- Soil bearing capacity to be at least 2,500 P.S.F.
- 8.) BOLLARD
- 3'-6" high, 6" diameter steel pipe bollard filled with concrete, painted traffic yellow, imbedded 3'-0" deep in 18" concrete foundation. (See Detail)

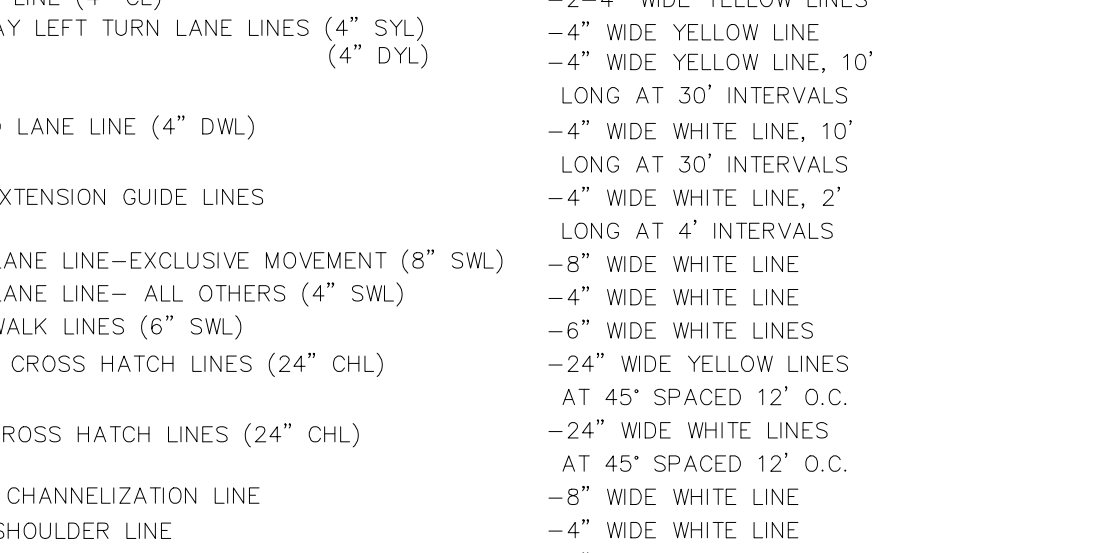
CONCRETE MASONRY WALL CONSTRUCTION
N.T.S.



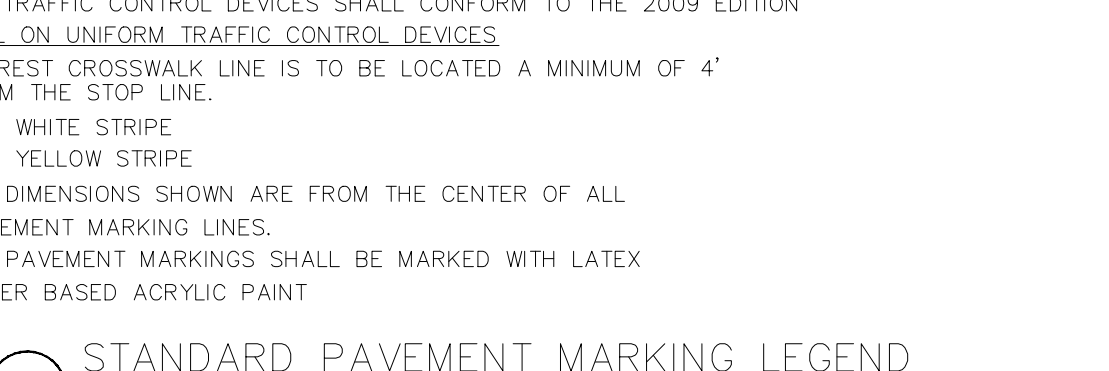
NOTES:

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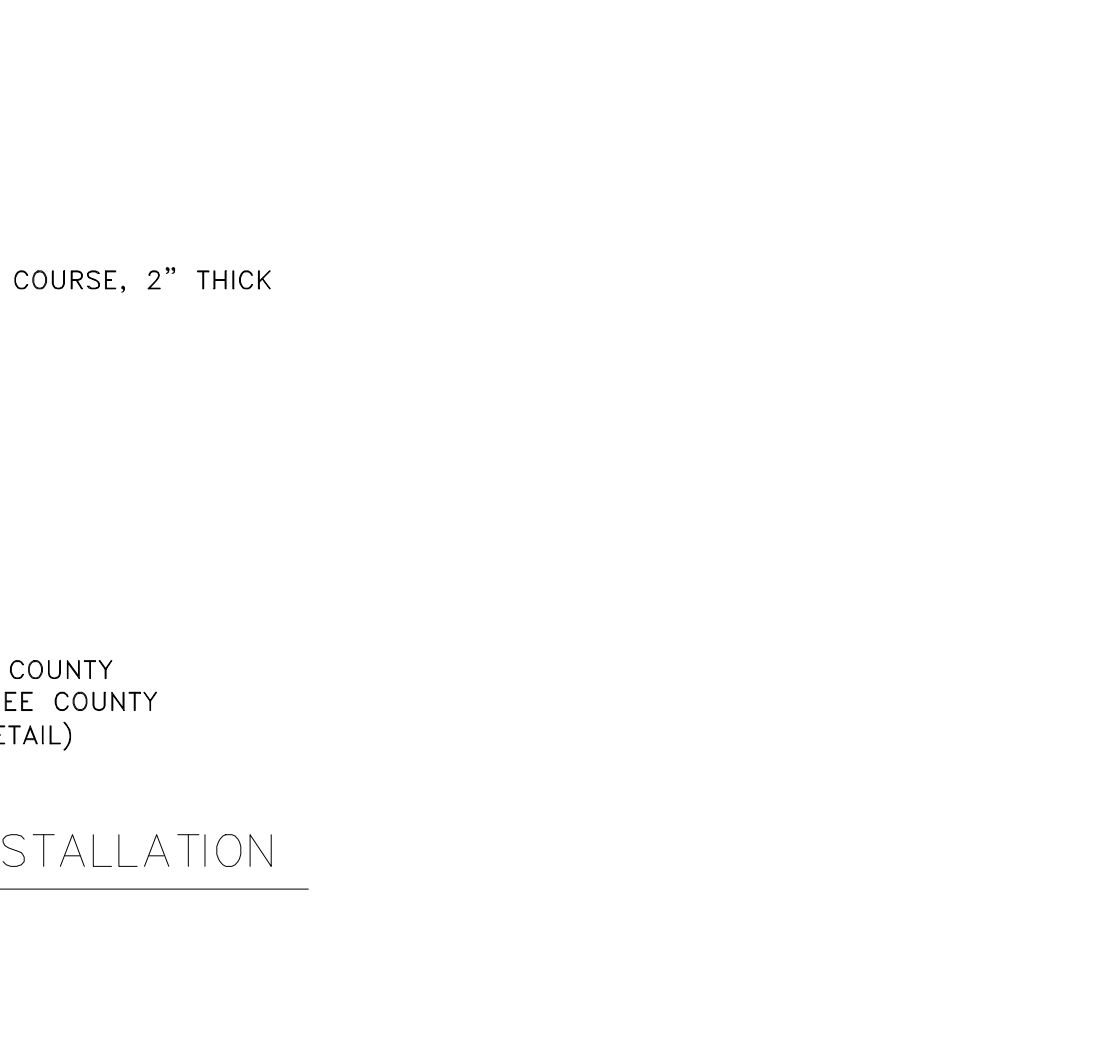
PAVEMENT MARKING LEGEND
N.T.S.



PAVEMENT MARKING LEGEND
N.T.S.



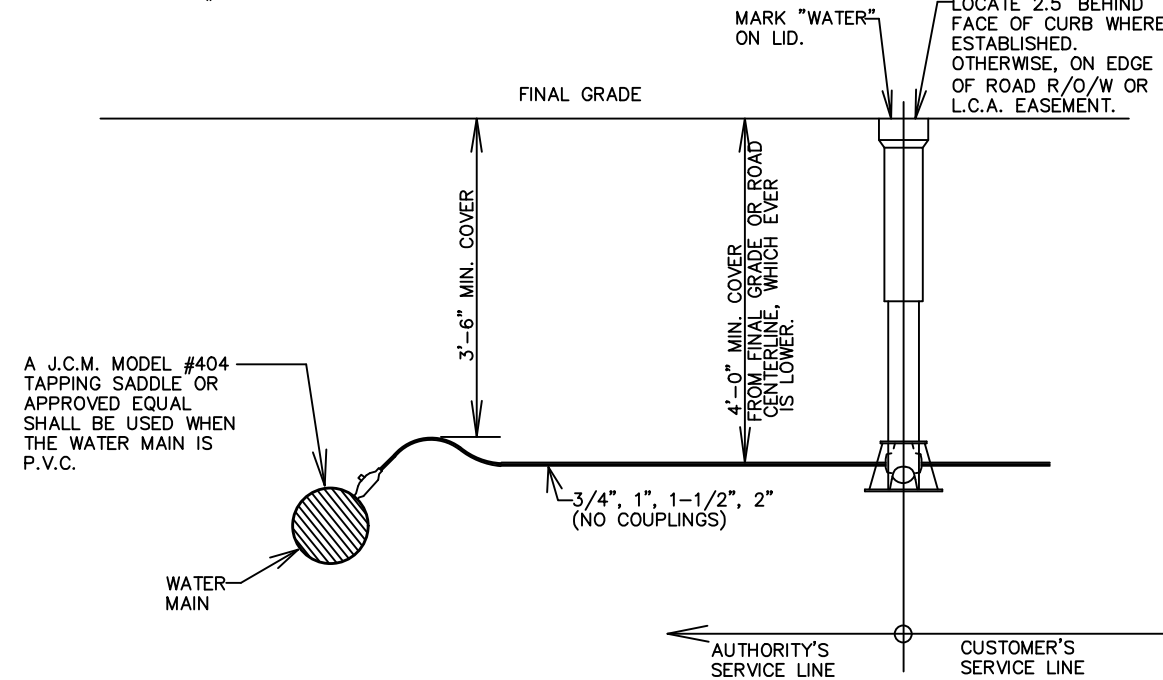
DETAIL 10 STANDARD PAVEMENT MARKING LEGEND
N.T.S.



NOTES:

1. SEE CONSTRUCTION PLANS FOR LOCATIONS WHERE PAVEMENT RESTORATION ADJACENT TO CURB IS GREATER THAN 2' MINIMUM

LIST OF MATERIALS
COPPER TUBING - TYPE K (SEE NOTE 3)
CORPORATION STOP - FORD #F81000-Q, MUELLER #B25008 OR APPROVED EQUAL.
CURB STOP - MUELLER #B25209 (FULL-PORT) OR EQUAL.
CURB BOX - BINGHAM & TAYLOR #4901-B WITH FOOT PIECE, #4970 OR APPROVED EQUAL.

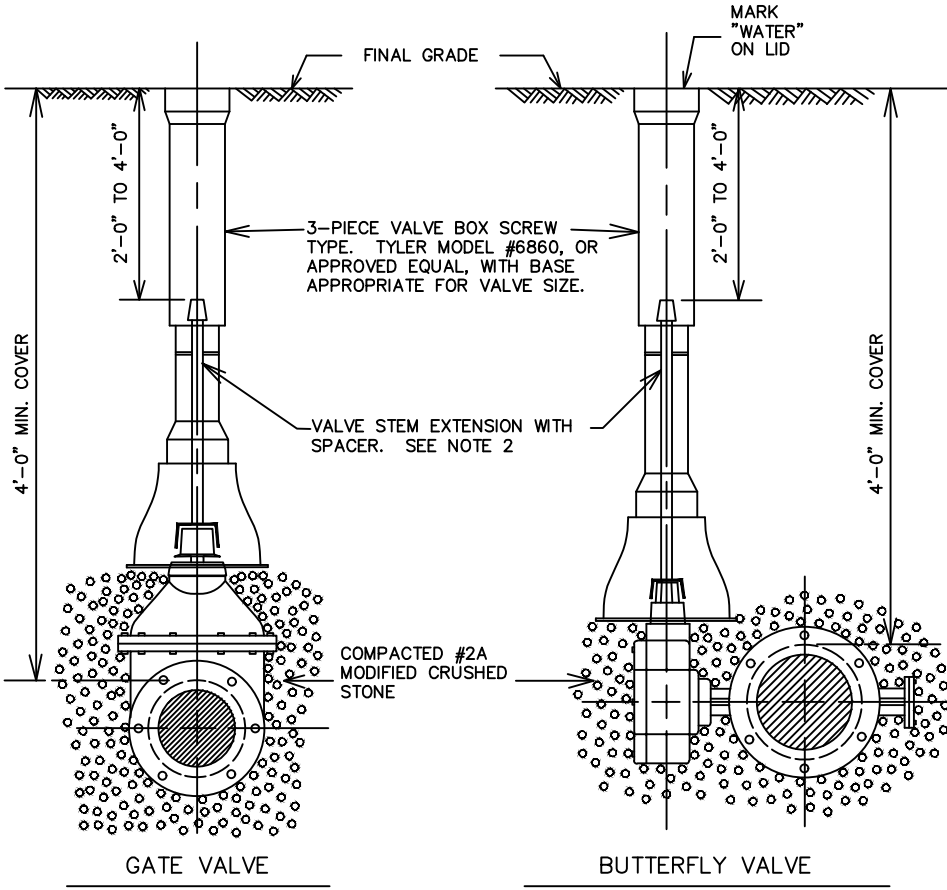


NOTES:

- AUTHORITY'S SERVICE LINE SHALL HAVE A MIN. 4" BEDDING OF LIMESTONE SCREENINGS AND SHALL BE BACKFILLED TO A MINIMUM 12" OVER PIPE WITH LIMESTONE SCREENINGS.
- AN EXTENSION ROD AND GUIDE RING SHALL BE INSTALLED ON CURB STOPS DEEPER THAN 5 FT. THE TOP OF AN EXTENSION ROD SHALL BE NO DEEPER THAN 5 FT.
- WHERE CLOSED EXCAVATION IS REQUIRED OR DEEMED NECESSARY BY THE AUTHORITY, THE AUTHORITY'S SERVICE LINE SHALL BE INSTALLED WITH A SCHEDULE 40 P.V.C. CASING, AND BE POLYETHYLENE PRESSURE TUBING, CLASS 160, CONFORMING TO A.W.W.A. C-901 SPECIFICATIONS, LATEST REVISION.

WATER SYSTEM STANDARD DETAIL SMALL SERVICE CONNECTION

N.T.S.

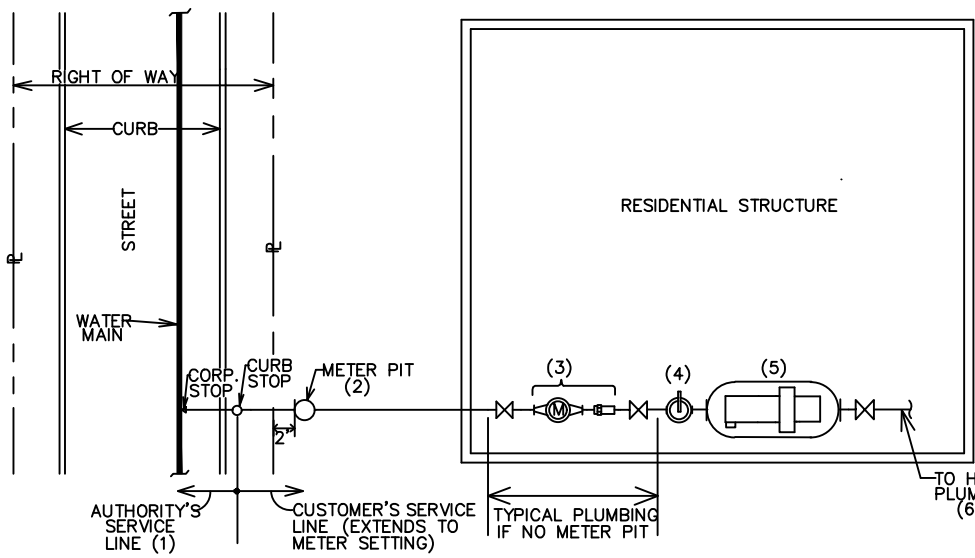


NOTES:

- VALVES SHALL BE RESTRAINED TO A FITTING USING MEGALUGS, OR AN APPROVED EQUAL.
- ANY VALVE WHOSE OPERATING NUT IS GREATER THAN 4 FEET DEEP SHALL BE EQUIPPED WITH AN EXTENSION STEM THAT HAS A MINIMUM 1-INCH SQUARE SOLID STEEL SHAFT FITTED OVER THE OPERATING NUT AND HAVE A 2-INCH SQUARE OPERATING NUT ON THE TOP. THE SHAFT SHALL BE CENTERED IN THE BOX WITH A SPACER AND BE FASTENED TO THE OPERATING NUT. THE EXTENSION KIT SHALL BE MANUFACTURED BY THE VALVE MANUFACTURER OR APPROVED EQUAL.

WATER SYSTEM STANDARD DETAIL VALVE AND VALVE BOX

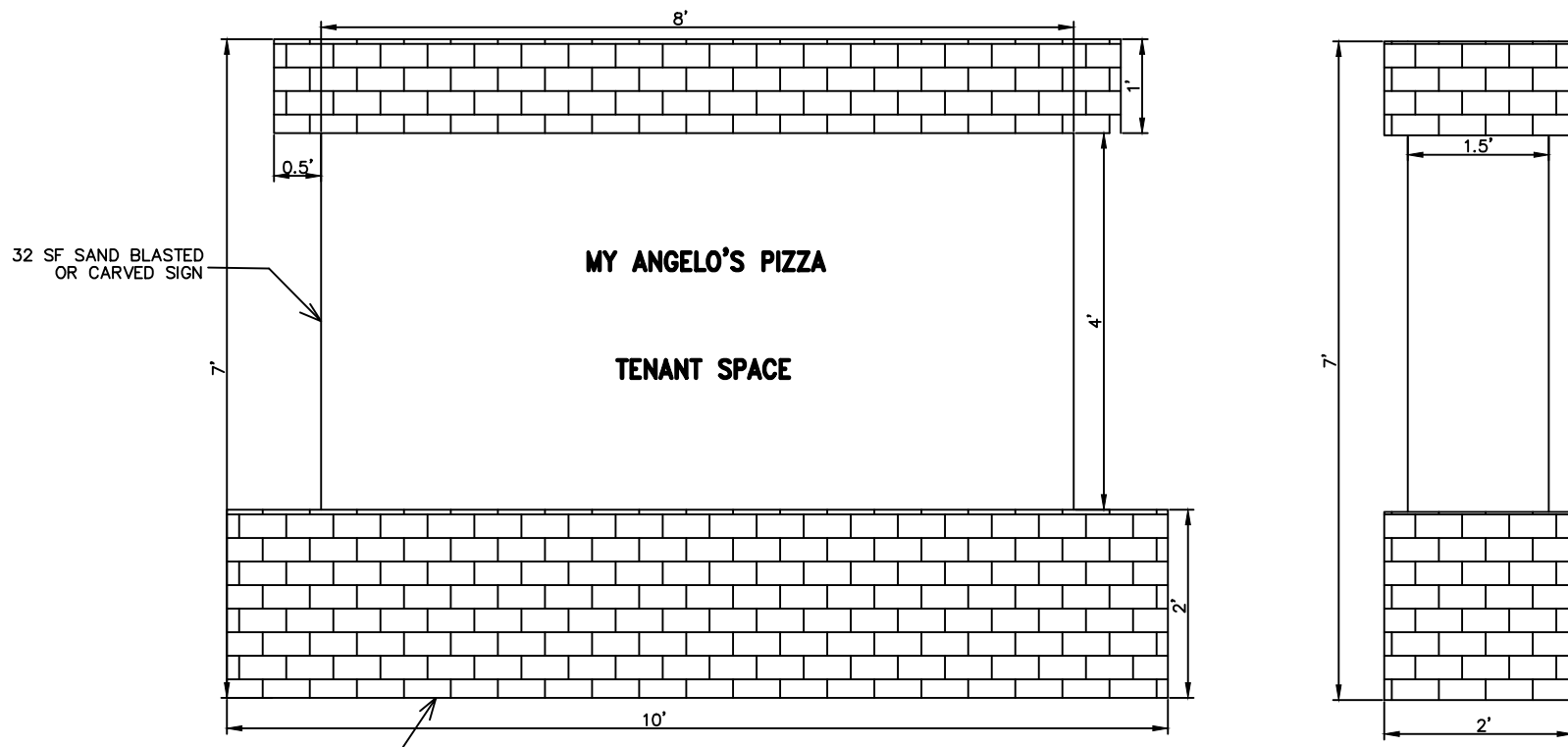
N.T.S.



NOTES:

- SEE THE SMALL SERVICE CONNECTION DETAIL FOR THE CONSTRUCTION STANDARDS. A MINIMUM 1" DIAMETER SERVICE LINE IS REQUIRED FOR INSTALLATIONS WITH A METER PIT AND/OR BOOSTER PUMP. THE SIZE OF THE CUSTOMER'S SERVICE LINE SHALL BE NO SMALLER THAN THE SIZE OF THE AUTHORITY'S SERVICE LINE.
- A METER PIT IS REQUIRED IF THE LENGTH OF THE CUSTOMER'S SERVICE LINE EXCEEDS 100'. SEE THE DOMESTIC SERVICE METER PIT DETAIL.
- THE METER AND DUAL CHECK VALVE SHALL BE PURCHASED FROM THE AUTHORITY.
- A PRESSURE REDUCING VALVE IS REQUIRED WHEN PRESSURES WILL EXCEED 80 PSI.
- A BOOSTER PUMPING SYSTEM MAY BE REQUIRED BY THE AUTHORITY IF THE STATIC PRESSURE IS LESS THAN 45 PSI. MAJOR COMPONENTS OF A BOOSTER PUMPING SYSTEM SHALL INCLUDE A (A) JACOZZI MODEL #8893; SHALLOW WELL JET PUMP, (B) FLEXCON INDUSTRIES MODEL #R44-HS OR MODEL #WR60-D2 JET-RITE COPPERHEAD-TYPE PRESSURE TANK, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH THE TOWNSHIP PLUMBING CODE OR BOCA NATIONAL PLUMBING CODE.
- AN AUXILIARY RELIEF VALVE, EXPANSION TANK OR OTHER MEANS OF PROVIDING FOR THERMAL EXPANSION SHALL BE INSTALLED IN THE INTERNAL PLUMBING SYSTEM TO PREVENT DAMAGE TO THE HOT WATER HEATER AND/OR PLUMBING SYSTEM.
- PLEASE CONTACT THE AUTHORITY TO DETERMINE IF A BOOSTER PUMPING SYSTEM IS REQUIRED, OR IF YOU HAVE ANY QUESTIONS ABOUT THE ABOVE REQUIREMENTS, THE AUTHORITY WILL NOT INSTALL A METER IF ANY OF THE ABOVE CRITERIA IS NOT MET.

WATER SYSTEM STANDARD DETAIL TYPICAL RESIDENTIAL SERVICE CONNECTION



SIGN DETAIL

NOTE: SIGN TO COMPLY WITH TOWNSHIP OF BERLIN ZONING CODE

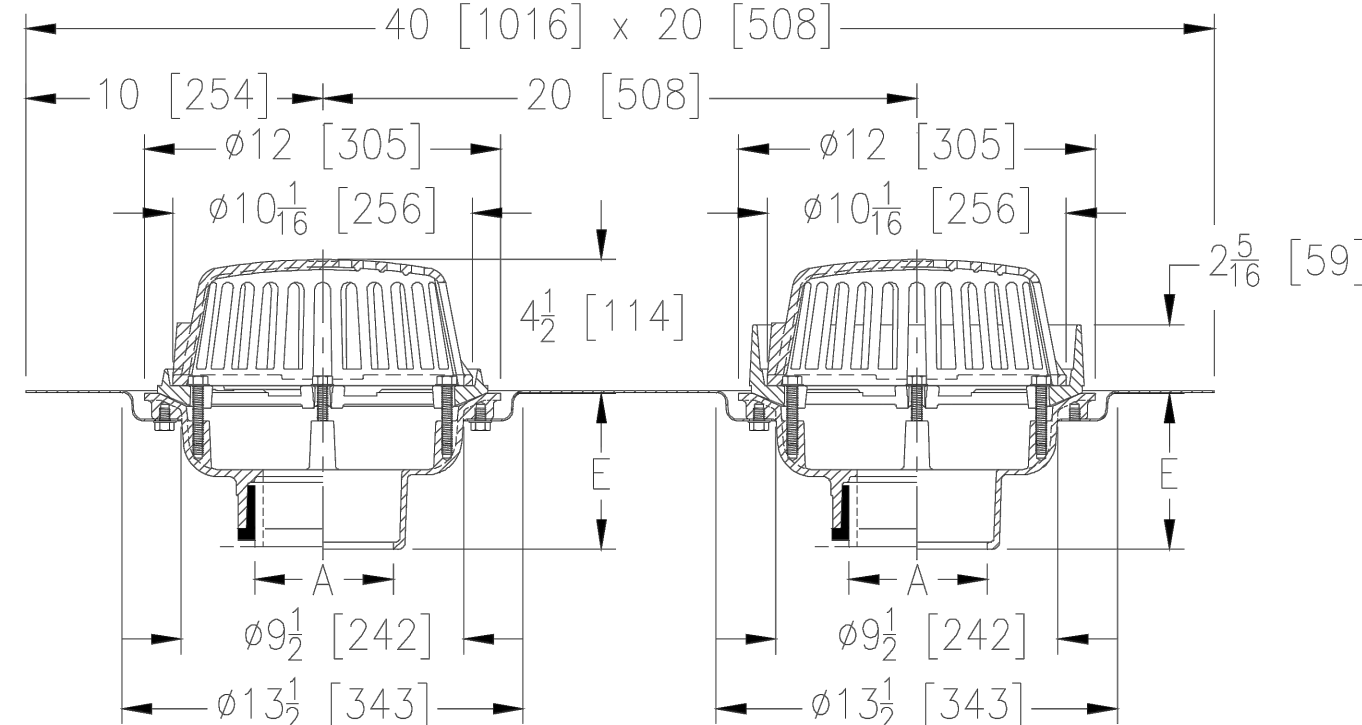


Z164

12 [305] DIAMETER COMBINATION MAIN ROOF
AND OVERFLOW DRAIN WITH LOW SILHOUETTE DOMES
AND DOUBLE TOP-SET® DECK PLATE

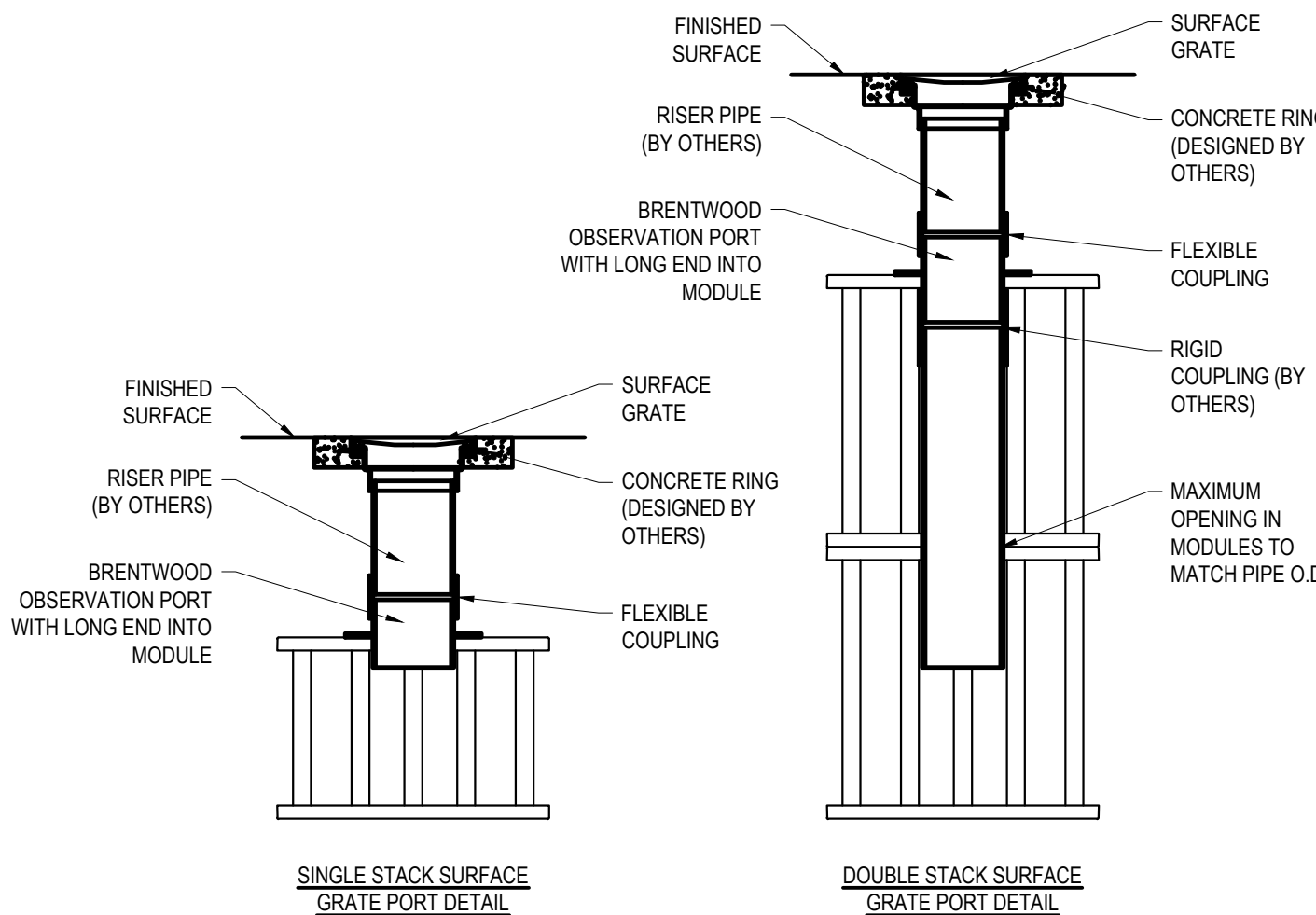
SPECIFICATION SHEET
TAG _____

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice



A Pipe Size In. [mm]	Approx. Wt. [kg]	Dome Open Area Sq. In. [cm²]
2, 3, 4, 6 [51, 76, 102, 152]	66 [30]	78 [503]

ENGINEERING SPECIFICATION: ZURN Z164
12" [305mm] Diameter roof drain and overflow drain, Dura-Coated cast iron bodies with combination membrane flashing clamp/gravel guards, double Top-Set® deck plate, and low silhouette cast iron domes.



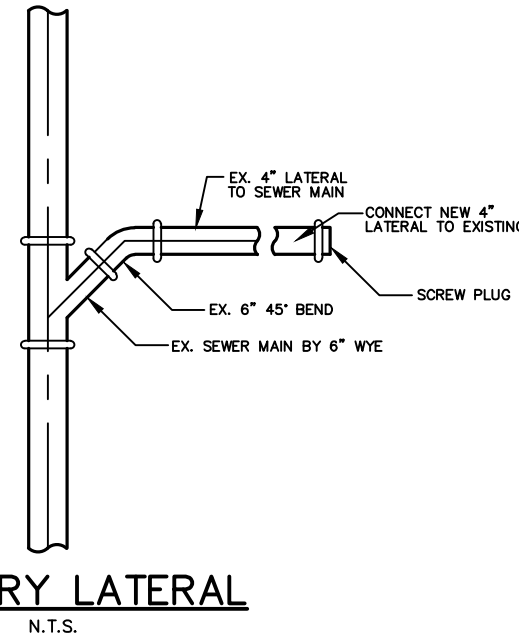
NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-009.



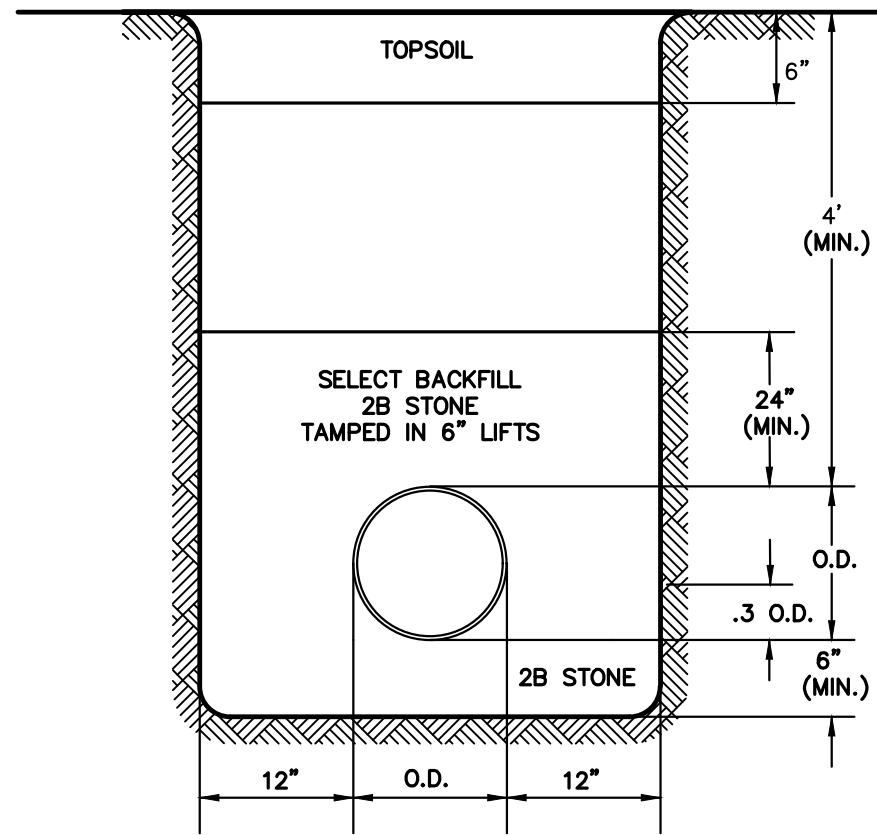
STORMTANK MODULE

OBSERVATION PORT DETAIL

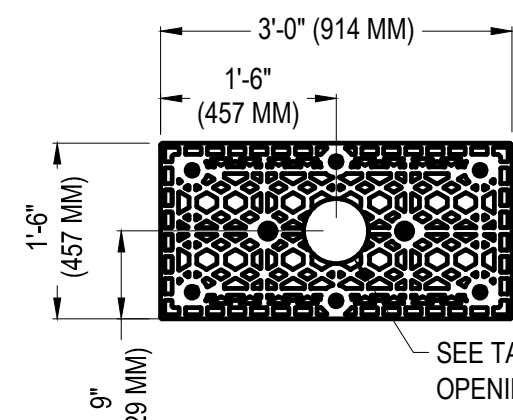


SANITARY LATERAL

N.T.S.

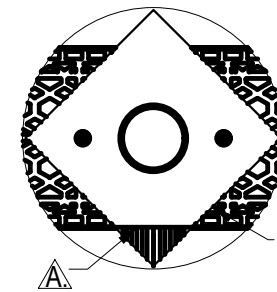


TRENCH RESTORATION DETAIL IN UNPAVED AREAS

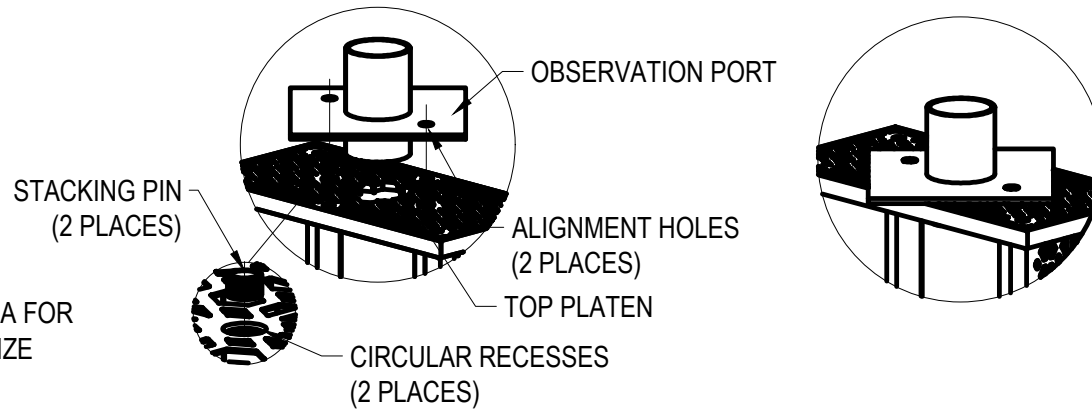


STEP 1
LAYOUT & CUT OPENING INTO THE CENTER OF THE TOP PLATEN FOR BRENTWOOD OBSERVATION PORT.

TABLE A: OBSERVATION PORT DIMENSION		
PORT SIZE	OPEN SIZE	RISER PIPE DIA
6" (152 MM)	7" (178 MM)	6" (152 MM)
8" (203 MM)	9" (229 MM)	8" (203 MM)
10" (254 MM)	11" (279 MM)	10" (254 MM)



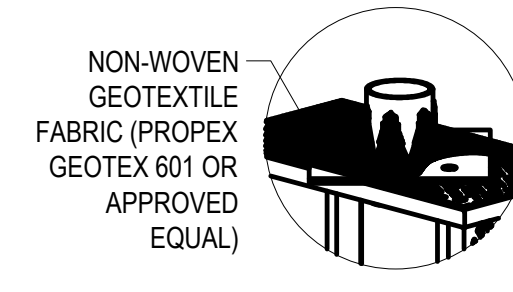
STEP 4
PLAN VIEW - PORT PLATE IN POSITION
MARK & CUT FLANGE PLATE FLUSH WITH MODULE SIDE "WHEN MODULE IS ON THE PERIMETER OF THE SYSTEM."



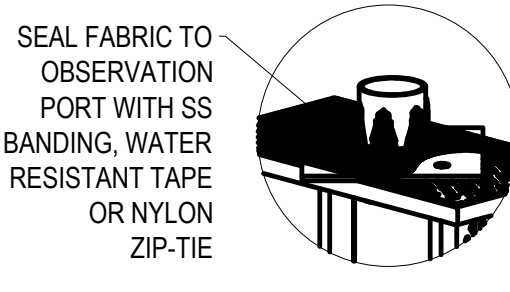
STEP 2

STEP 3

INSTALL OBSERVATION PORT



STEP 5
INSTALL GEOTEXTILE:
WRAP SPECIFIED GEOTEXTILE FABRIC AROUND ENTIRE INSTALLATION OF STORMTANK MODULES. CUT "X" PATTERN INTO GEOTEXTILE FABRIC AT OBSERVATION PORT AND PEEL EDGES OUT.



STEP 6

SEAL FABRIC TO OBSERVATION PORT

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-010.

ENGINEERS CERTIFICATION

SITE DETAILS (2)
PREPARED AS PART OF THE

MY ANGELO'S PIZZA LD
PREPARED FOR

SALVATORE CUSUMANO
SITE SITUATION

BERLIN TOWNSHIP, CAMDEN COUNTY, NEW JERSEY

PROJECT MANAGER
JH

DRAWING FILE NAME
ZDET

PLAN ORIGINATION DATE
2-16-21

PLAN LAST REVISED
8-5-21

PLAN SCALE
N.T.S.

PROJECT NUMBER
3824

SHEET NUMBER
1.04 OF 16

245205069500

JOSHUA D. HOAGLAND

